

# PLANS OF SUBDIVISION OF 303 & 335 GILBERTSVILLE ROAD

303 & 335 GILBERTSVILLE ROAD (STA JOB #5686)

SITE SITUATE IN DOUGLASS TOWNSHIP, MONTGOMERY COUNTY

### PLAN SHEET INDEX

SHEET NO.	PLAN TITLE	DATE	LAST REVISED
1 OF 24	COVER SHEET	AUGUST 30, 2019	FEBRUARY 24, 2021
2 OF 24	RECORD PLAN OF SUBDIVISION	AUGUST 30, 2019	FEBRUARY 24, 2021
3 OF 24	OVERALL EXISTING FEATURES/DEMOLITION PLAN	AUGUST 30, 2019	FEBRUARY 24, 2021
4 OF 24	EXISTING FEATURES/DEMOLITION PLAN	AUGUST 30, 2019	FEBRUARY 24, 2021
5 OF 24	CONSTRUCTION IMPROVEMENT PLAN	AUGUST 30, 2019	FEBRUARY 24, 2021
6 OF 24	UTILITY PLAN	AUGUST 30, 2019	FEBRUARY 24, 2021
7 OF 24	EROSION & SEDIMENT CONTROL PLAN	AUGUST 30, 2019	FEBRUARY 24, 2021
8 OF 24	EROSION & SEDIMENT CONTROL PLAN CHAPTER 105 PERMIT AREAS	AUGUST 30, 2019	FEBRUARY 24, 2021
9 OF 24	E&S CONTROL DETAIL SHEET	AUGUST 30, 2019	FEBRUARY 24, 2021
10 OF 24	E&S CONTROL DETAIL SHEET	AUGUST 30, 2019	FEBRUARY 24, 2021
11 OF 24	PCSM PLAN	AUGUST 30, 2019	FEBRUARY 24, 2021
12 OF 24	PCSM DETAIL SHEET	AUGUST 30, 2019	FEBRUARY 24, 2021
13 OF 24	PCSM LANDSCAPE PLAN	AUGUST 30, 2019	FEBRUARY 24, 2021
14 OF 24	PCSM LANDSCAPE DETAIL SHEET	AUGUST 30, 2019	FEBRUARY 24, 2021
15 OF 24	PLAN AND PROFILE ELOISE DRIVE	AUGUST 30, 2019	FEBRUARY 24, 2021
16 OF 24	PLAN AND PROFILE ELEANOR COURT	AUGUST 30, 2019	FEBRUARY 24, 2021
17 OF 24	PLAN AND PROFILE STORM & SANITARY SEWER	AUGUST 30, 2019	FEBRUARY 24, 2021
18 OF 24	PLAN AND PROFILE SANITARY SEWER	AUGUST 30, 2019	FEBRUARY 24, 2021
19 OF 24	PLAN AND PROFILE GILBERTSVILLE RD, S.R. 4040	AUGUST 30, 2019	FEBRUARY 24, 2021
20 OF 24	PLAN AND PROFILE GILBERTSVILLE RD, S.R. 4040	AUGUST 30, 2019	FEBRUARY 24, 2021
21 OF 24	CONSTRUCTION DETAIL SHEET--SANITARY SEWER FACILITIES	AUGUST 30, 2019	FEBRUARY 24, 2021
22 OF 24	CONSTRUCTION DETAIL SHEET	AUGUST 30, 2019	FEBRUARY 24, 2021
23 OF 24	CONSTRUCTION DETAIL SHEET	AUGUST 30, 2019	FEBRUARY 24, 2021
24 OF 24	TRUCK TURNPATH PLAN	AUGUST 30, 2019	FEBRUARY 24, 2021

• DENOTES PLANS TO BE RECORDED

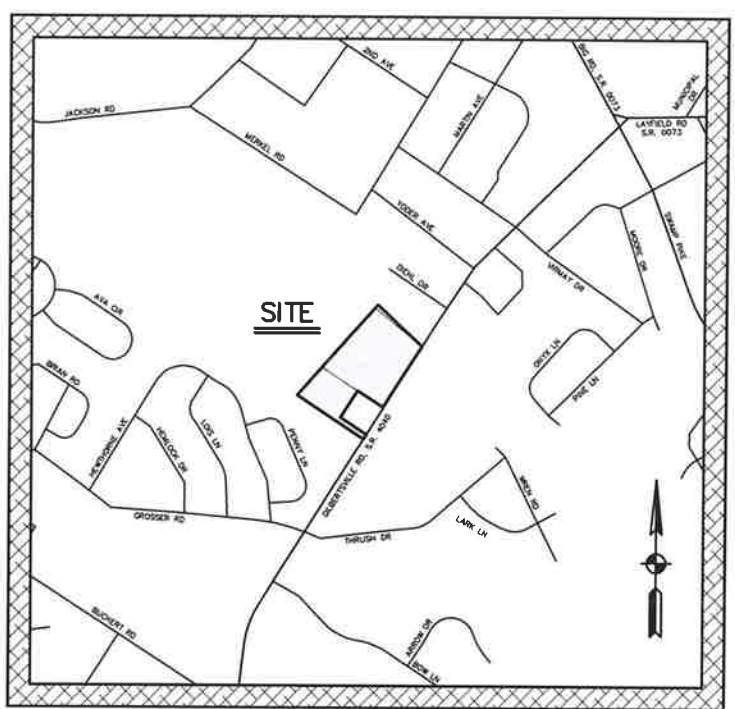
ADDITIONAL SUPPORTING DOCUMENTS			
1	POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN NARRATIVE REPORT	AUGUST 30, 2019	JAN. 15, 2021
2	EROSION AND SEDIMENT CONTROL PLAN NARRATIVE REPORT	AUGUST 30, 2019	JAN. 15, 2021
3	STORMWATER INFILTRATION REPORT PREPARED BY ESE CONSULTANTS, INC.	MAY 30, 2019	
4	TRANSPORTATION IMPACT ASSESSMENT PREPARED BY HEINRICH & KLEIN ASSOCIATES, INC.	APRIL 30, 2019	JUNE 23, 2020
5	ALLUVIAL SOIL EVALUATION & ADDENDUM PREPARED BY ESE CONSULTANTS, INC.	SEPTEMBER 19, 2018	JANUARY 8, 2020
6	AQUA WATER MAIN EXTENSION PLAN	MARCH 4, 2020	DECEMBER 3, 2020

SUPPORTING DOCUMENTS SUBMITTED TO PENNDOT:  
1. HOP PLANS FOR GILBERTSVILLE ROAD, S.R. 4040 - EPS NO. 207333, PERMIT NO. 08105301

SHEET INDEX		
DESCRIPTION	SHEET	LAST REVISED
TITLE SHEET	1	DEC. 3, 2020
GENERAL NOTES	2	DEC. 3, 2020
INDEX SHEET	3	DEC. 3, 2020
EXISTING FEATURES/DEMOLITION PLAN	4-5	DEC. 3, 2020
ROADWAY IMPROVEMENT PLAN	6-7	DEC. 3, 2020
SIGNAGE & PAVEMENT MARKING PLAN	8-9	DEC. 3, 2020
GRADING PLAN	10-11	DEC. 3, 2020
PROFILE -GILBERTSVILLE ROAD, S.R. 4040	12-20	DEC. 3, 2020
CROSS-SECTIONS GILBERTSVILLE ROAD, S.R. 4040	21-26	DEC. 3, 2020
INTERSECTION DETAILS	27-28	DEC. 3, 2020
TRUCK TURNPATH PLAN	29-30	DEC. 3, 2020
MAINTENANCE & PROTECTION OF TRAFFIC	31	DEC. 3, 2020

### SITE STATISTICS

- SUBJECT TRACTS MAY BE IDENTIFIED BY MONTGOMERY COUNTY TAX ASSESSMENT INFORMATION AS FOLLOWS:  
DOUGLASS TOWNSHIP  
A. TAXMAPID: 32042 008 (PARID: 32-00-02236-00-9)  
B. TAXMAPID: 32042 117 (PARID: 32-00-02236-01-8)  
C. TAXMAPID: 32042 116 (PARID: 32-00-02231-00-5)
- RECORDED DEED DATA IS AS FOLLOWS:  
AS RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC., IN AND FOR THE COUNTY OF MONTGOMERY AT NORRISTOWN, PENNSYLVANIA.  
A. DEED BOOK 6110, PAGE 1956  
B. DEED BOOK 6110, PAGE 1956  
C. DEED BOOK 6119, PAGE 0968
- NAME AND ADDRESS OF THE OWNERS OF THE SUBJECT TRACTS:  
WEXFORD COURT, LLC  
53 HANLEY LANE  
DOWNINGTOWN, PA 19335
- AREA STATISTICS:  
A. TRACT AREA = 9.55 AC. (TO TITLE LINES)  
B. TRACT AREA = 0.24 AC. (TO TITLE LINES)  
C. TRACT AREA = 3.50 AC. (TO TITLE LINES)  
TOTAL TRACT AREA = 13.29 AC. (TO TITLE LINES)



SITE LOCATION MAP 1" = 800'

### ACT 50 UTILITY NOTE

ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDER-GROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 121 AS PER THE AMENDMENT OF PA ACT 287 OF 1974, EFFECTIVE OCTOBER 30, 2017 CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK. REFERENCE UTILITY CASE NUMBER: 20181240999.

- |  |  |  |
|--|--|--|
| WINDSTREAM<br>329 WARTHAN WAY<br>HARRISBURG, PA 17110<br>LOCAL SERVICE PERSONNEL<br>www.windstream.com                                   | COMCAST<br>4400 MARINE AVENUE<br>PHILADELPHIA, PA 19140<br>ROBERT HARVEY<br>bob.harvey@comcast.com | AQUA PENNSYLVANIA INC<br>329 KING RD<br>DOWNINGTOWN, PA 19340<br>DAVID RINDHART<br>DRINDHART@AQUAAMERICA.COM |
| BERKS MONTGOMERY MUNICIPAL AUTHORITY<br>136 MUNICIPAL DR<br>PO BOX 370<br>GILBERTSVILLE, PA 19325<br>LEW CHRISTY<br>lchristy@berksma.com | FIRSTENERGY CORP<br>78 S MAIN ST<br>ARRIS, OH 44318<br>OFFICE PERSONNEL                            | UG UTILITIES INC-LANCASTER<br>225 MORGANTOWN RD<br>READING, PA 19611<br>KURT ZELAKOWSKI<br>kzelakow@ugj.com  |
| DOUGLASS TOWNSHIP<br>PO BOX 287<br>GILBERTSVILLE, PA 19325<br>MICHAEL HEYDT<br>mheydt@doouglastownship.org                               | COMCAST CABLEVISION<br>100 SHOBARD RD<br>POTTSTOWN, PA 19444<br>DAVE FIEDLER                       |  |



PREPARED FOR

# WEXFORD COURT, LLC.

53 HANLEY LANE  
DOWNINGTOWN, PA 19335

### BMMA BOARD OF STANDARDS NOTES

- ALL SANITARY SEWER MANHOLE COVERS SHALL HAVE INSERTS EXCEPT WHERE COVERS ARE WATERTIGHT.
- ALL SANITARY SEWER LINES SHALL HAVE A MINIMUM COVER OF FOUR (4) FEET.
- LATERALS SHALL HAVE A MINIMUM COVER OF FOUR (4) FEET AND A MINIMUM SLOPE OF 1/4" PER FOOT.
- DEVELOPER IS RESPONSIBLE TO SECURE ALL NECESSARY PERMITS AND PAY APPLICABLE FEES.
- ALL WORK TO BE IN ACCORDANCE WITH BMMA RULES AND REGULATIONS.
- DEVELOPER SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND CONDITIONS SET FORTH BY BMMA.
- BUILDING SEWERS SHALL BE TESTED IN ACCORDANCE WITH UCC AND PLUMBING CODE REQUIREMENTS.
- DEVELOPER SHALL EXECUTE A SEWAGE SERVICE IMPROVEMENTS AGREEMENT WITH BMMA.
- DEVELOPER IS RESPONSIBLE FOR SECURING THE PROPOSED OFF-SITE EASEMENT AND PROVIDING A COPY OF THE EXECUTED EASEMENT AGREEMENT TO BMMA PRIOR TO CONSTRUCTION.

APPROVED AS NOTED  
BMMA BOARD OF STANDARDS  
  
MARK A. TOEPEL, AUTHORITY CHAIRMAN  
  
DATE: \_\_\_\_\_

## S T A

Engineering, Inc.

Civil Engineers • Land Surveyors

2499 KNIGHT ROAD, PENNSBURG, PA 18073  
MAILING: P.O. BOX 87, RED HILL, PA 18076  
PH: (215) 679-0200; www.stotac.com

### PLAN SHEET INDEX

SECT. NO.	PLAN TITLE
1	COVER SHEET
2	RECORD PLAN OF SUBDIVISION
3	EXISTING FEATURES/RESOLUTION PLAN
4	EXISTING FEATURES/RESOLUTION PLAN
5	EXISTING FEATURES/RESOLUTION PLAN
6	EXISTING FEATURES/RESOLUTION PLAN
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23	EXISTING FEATURES/RESOLUTION PLAN
24	EXISTING FEATURES/RESOLUTION PLAN

### ACT 50 UTILITY NOTE

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### NET LOT AREA CHART

LOT NO.	AREA (S.F.)	STEP SLOPES (S.E.)	1/2 ALLOWABLE	NET LOT AREA (S.E.)
1	17,194	0	0	17,194
2	15,111	0	0	15,111
3	17,838	500	295	17,543
4	25,907	0	0	25,907
5	17,260	840	420	16,840
6	15,120	0	0	15,120
7	15,120	0	0	15,120
8	15,120	0	0	15,120
9	15,857	1710	855	15,002
10	19,203	2100	1050	18,103
11	15,480	0	0	15,480
12	15,420	630	315	15,035
13	15,726	1400	700	15,025
14	15,480	410	205	15,070
15	17,253	270	135	17,118
16	16,934	1465	733	16,262

### SOILS DATA

DATA OBTAINED FROM N.R.C.S. SOIL SURVEY.

ASB - AMBOSTON SILT LOAM, 3 TO 8 PERCENT SLOPES.  
 PNB - PENN-KUNESVILLE CHAMMERY SILT LOAMS, 15 TO 25 PERCENT SLOPES.  
 RND - REAVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES.  
 RNC - REAVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES.  
 RNB - REAVILLE SILT LOAM, 8 TO 15 PERCENT SLOPES.  
 RL - ROWLAND SILT LOAM, TERRACE.  
 RNB - ROWLAND SILT LOAM, 3 TO 8 PERCENT SLOPES.

### MONUMENT LEGEND

○ IRON PIN FOUND ● IRON PIN TO BE SET  
 □ MONUMENT FOUND ■ MONUMENT TO BE SET

### LEGEND

100 YEAR FEMA FLOODPLAIN  
 ALLUVIAL SOILS  
 WETLANDS  
 WATERS

### PARKING CALCULATIONS

REQUIRED: 2 Sp./DU + 0.2 Sp./DU FOR GUEST PARKING FOR 16 DU: 35 OFF-STREET SPACES.

PROVIDED:  
 LOTS 1 THROUGH 16: 1 SPACE IN GARAGE  
 2 SPACES IN DRIVEWAY  
 48 SPACES  
 TOTAL PROVIDED 48 SPACES

### PROPOSED STREET LENGTHS

ROAD A: 490.7 L.F.  
 ROAD B: 578.4 L.F.

### WAIVERS

SALDO ORDINANCE  
 1. §407.3.C. WHICH REQUIRES STREET GRADES IN EXCESS OF 5% TO BE AVOIDED WHEREVER POSSIBLE.  
 2. §411.8.K. WHICH REQUIRES BASIN SIDE SLOPES TO BE NO GREATER THAN 4 HORIZONTAL TO 1 VERTICAL.  
 3. §414.2.A. WHICH REQUIRES RESIDENTIAL DRIVEWAYS TO BE LOCATED A MINIMUM OF 50 FEET FROM STREET INTERSECTIONS.  
 4. §420-3.B.1. WHICH REQUIRES A FILTERING BUFFER ALONG THE PERIMETER PROPERTY LINE.  
 5. §424.1.A. WHICH REQUIRES SIDEWALKS ALONG BOTH SIDES OF ROAD A.  
 6. §405.A.2. RECHARGE (INFILTRATION) VOLUME TO BE CAPTURED AND INFILTRATED SHALL BE THE VOLUME DIFFERENCE BETWEEN THE PRE-DEVELOPMENT 2-YEAR, 24-HOUR STORM EVENT AND THE POST-DEVELOPMENT 2-YEAR, 24-HOUR STORM EVENT.  
 7. §410.1.3. WHICH REQUIRES BASIN SIDE SLOPES TO BE NO GREATER THAN 5 HORIZONTAL TO 1 VERTICAL.

### NOTES

- TITLE LINE INFORMATION TAKEN FROM EXISTING DEEDS, PLANS OF RECORD, AND VERIFIED BY ACTUAL FIELD MEASUREMENTS TAKEN BY THIS OFFICE IN MAY 2018.
- CONTOUR DATA SHOWN HEREON HAS BEEN BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD 88).  
 A. BENCHMARK ELEVATION: 322.16  
 BENCHMARK DESCRIPTION: EXISTING 2 1/2 STORY FARM HOUSE FINISH FLOOR ELEVATION.  
 B. BENCHMARK ELEVATION: 317.82  
 BENCHMARK DESCRIPTION: TOP OF GRATE ELEVATION OF EXISTING TYPE 'M' RILEY LOCATE ALONG GILBERTSVILLE ROAD ON STA. 2+18.23 ST. ET.  
 C. BENCHMARK ELEVATION: 290.84  
 BENCHMARK DESCRIPTION: FIN ELEVATION OF EXISTING SANITARY MANHOLE #75 ON THE GILBERTSVILLE ROAD & DEER ROAD C/L INTERSECTION.
- THE 100 YEAR FLOODPLAIN LINE AS SHOWN HEREON TAKEN FROM A FLOOD INSURANCE RATE MAP FOR DOUGLASS TOWNSHIP, COMMUNITY PANEL NO. 420910000A, REVISED MARCH 2, 2018, PREPARED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
- WETLANDS WERE FIELD DELINEATED BY ESE CONSULTANTS, INC. ON AUGUST 30 AND 31, 2018. THE WETLANDS, WATERS AND ALLUVIAL SOILS SHOWN HEREON HAVE BEEN FIELD LOCATED AND PLOTTED BY THIS OFFICE AND VERIFIED BY ESE CONSULTANTS, INC.
- AREA WITHIN ULTIMATE RIGHT OF WAY OF GILBERTSVILLE ROAD, S.R. 4040 IS HEREBY OFFERED FOR DEDICATION TO THE GOVERNMENTAL AGENCY HAVING JURISDICTION AT THE TIME OF DEDICATION. AREA = 21,111 S.F.
- AREA WITHIN ULTIMATE RIGHT OF WAY OF ELOISE DRIVE AND ELEANOR COURT IS HEREBY OFFERED FOR DEDICATION TO THE GOVERNMENTAL AGENCY HAVING JURISDICTION AT THE TIME OF DEDICATION. AREA = 50,358 S.F.
- NOTHING SHALL BE PERMITTED TO BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT, THE AREA SHALL BE MAINTAINED AS LAWN UNLESS FURTHER USE IS ALLOWED IN WRITING BY THE BOARD OF SUPERVISORS.
- A POLE LAMP SHALL BE INSTALLED ON EACH LOT AT THE DRIVEWAY LOCATION, 5 FEET BEHIND THE ULTIMATE RIGHT-OF-WAY LINE.
- WETLANDS WORK FIELD DELINEATED BY ESE CONSULTANTS, INC. ON AUGUST 30 AND 31, 2018. THE WETLANDS, WATERS AND ALLUVIAL SOILS SHOWN HEREON HAVE BEEN FIELD LOCATED AND PLOTTED BY THIS OFFICE AND VERIFIED BY ESE CONSULTANTS, INC.
- ALL SANITARY SEWER EASEMENTS SHALL BE PERPETUAL AND EXCLUSIVE AND SHALL BE DEDICATED TO THE BORIS-MONTGOMERY MUNICIPAL AUTHORITY.
- REFER TO HIGHWAY OCCUPANCY PLANS PREPARED BY THIS OFFICE FOR IMPROVEMENTS WITHIN THE LEGAL-RIGHT-OF-WAY OF GILBERTSVILLE ROAD, S.R. 4040, PERMIT NO. 06100300.



### RECORDING ACKNOWLEDGMENTS

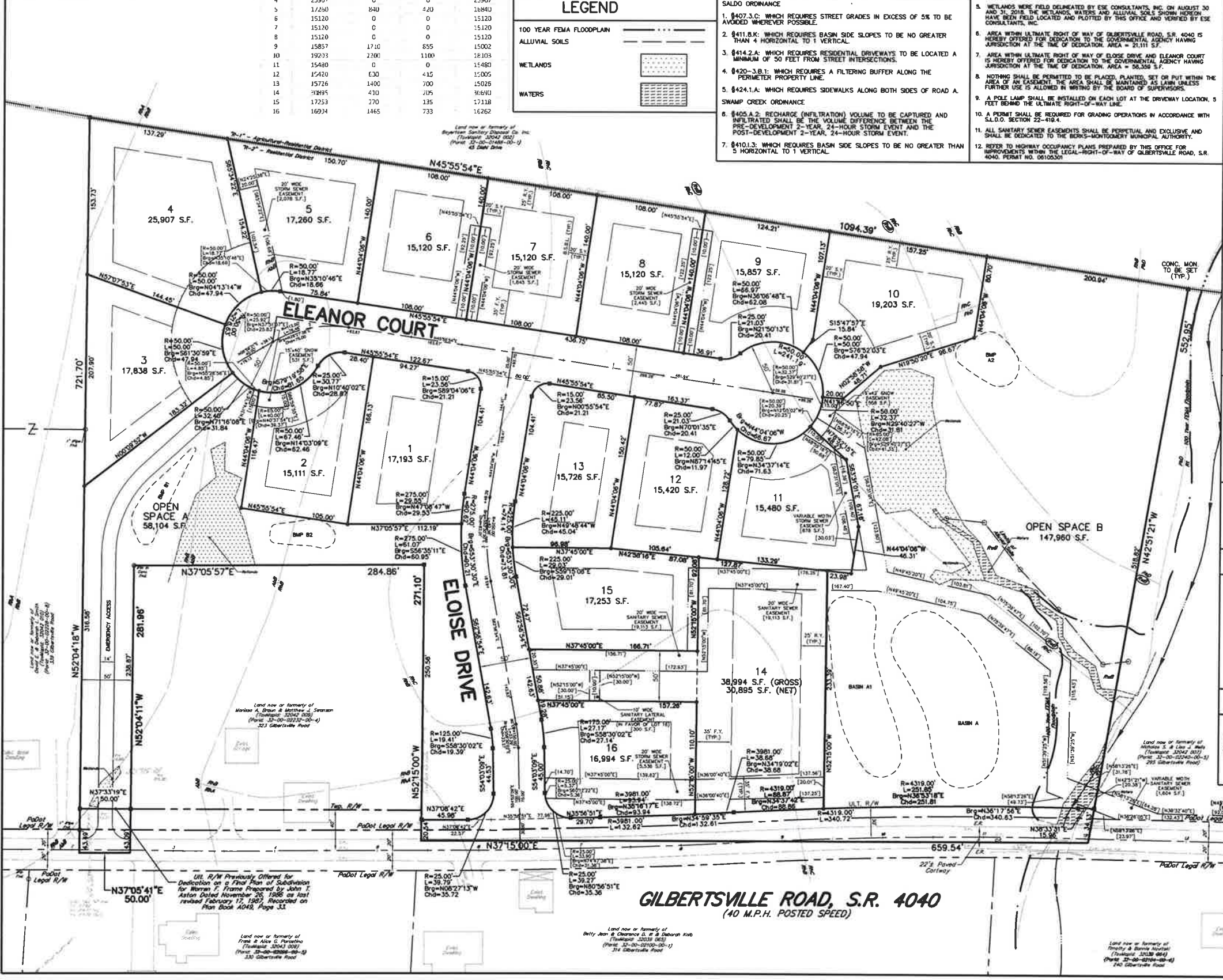
COMMONWEALTH OF PENNSYLVANIA )  
 COUNTY OF MONTGOMERY ) SS:

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED JOSEPH MARGUSI, BEING DULY SWORN ACCORDING TO LAW, DEFENSE AND SAYS THAT HE IS THE PRESIDENT OF WEXFORD COURT, LLC, A PENNSYLVANIA LIMITED PARTNERSHIP, AND THAT HE IS BEING DULY AUTHORIZED TO DO SO, EXECUTE THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED BY SIGNING AS PRESIDENT.

IN WITNESS WHEREOF, I HAVE HERETO SET MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC  
 I, JOSEPH MARGUSI, ACKNOWLEDGE MYSELF TO BE THE PRESIDENT OF WEXFORD COURT, LLC, A PENNSYLVANIA LIMITED PARTNERSHIP, AND THAT AS SUCH BEING AUTHORIZED TO DO SO, CERTIFY THAT THE PARTNERSHIP IS THE SOLE REGISTERED OWNER OF THE LAND HEREIN SUBDIVIDED AND THAT THERE ARE NO SUITS PENDING AFFECTING THE TITLE OF THE SAME AND THAT I DO HEREBY ADOPT THIS PLAN AND DESIRE THE SAME TO BE RECORDED. I DO FURTHER SAVE THE TOWNSHIP HARMLESS AND IDENTIFY THE TOWNSHIP OF DOUGLASS AGAINST ANY LIABILITY OR LOSS RESULTING FROM THE SUBDIVISION OR DEVELOPMENT OF THIS PLAT FOR WHATEVER REASON PRESENT OR FUTURE.

WEXFORD COURT, LLC, GENERAL PARTNER  
 BY: JOSEPH MARGUSI, PRESIDENT



### SITE LOCATION MAP 1"=2000'

### SITE STATISTICS

- SUBJECT TRACTS MAY BE IDENTIFIED BY MONTGOMERY COUNTY TAX ASSESSMENT INFORMATION AS FOLLOWS:  
 DOUGLASS TOWNSHIP  
 A. TAXMAPID: 32042 008 (PARID: 32-00-02236-00-9)  
 B. TAXMAPID: 32042 117 (PARID: 32-00-02236-01-8)  
 C. TAXMAPID: 32042 118 (PARID: 32-00-02231-00-5)
- RECORDED DEED DATA IS AS FOLLOWS:  
 AS RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC., IN AND FOR THE COUNTY OF MONTGOMERY AT NORRISTOWN, PENNSYLVANIA.  
 A. DEED BOOK 6110, PAGE 1856  
 B. DEED BOOK 6110, PAGE 1856  
 C. DEED BOOK 6110, PAGE 0988
- NAME AND ADDRESS OF THE OWNERS OF THE SUBJECT TRACTS:  
 WEXFORD COURT, LLC  
 53 HANLEY LANE  
 DOWNTOWN, PA 19335
- AREA STATISTICS:  
 A. TRACT AREA = 9.55 AC. (TO TITLE LINES)  
 B. TRACT AREA = 0.24 AC. (TO TITLE LINES)  
 C. TRACT AREA = 1.50 AC. (TO TITLE LINES)  
 TOTAL TRACT AREA = 13.29 AC. (TO TITLE LINES)

### ZONING DATA

DATA OBTAINED FROM DOUGLASS TOWNSHIP ZONING ORDINANCE, AS LATEST REVISED 2007, REFERENCE PART 4, SECTIONS 402 & 403.

DISTRICT CLASSIFICATION: "R-2" - RESIDENTIAL DISTRICT

CRITERIA	REQUIRED	PROVIDED
MINIMUM LOT AREA	15,000 S.F.	15,000 S.F.
MINIMUM LOT WIDTH @ SETBACK LINE	100 FT.	100 FT.
FRONT YARD SETBACK	35 FT.	35 FT.
SIDE YARD RESTRICTION	20 FT.	20 FT.
REAR YARD RESTRICTION	25 FT.	25 FT.
MAXIMUM BUILDING COVERAGE	15 %	15 %
MAXIMUM PRINCIPAL BUILDING HEIGHT	35 FT.	35 FT.
MAXIMUM ACCESSORY BUILDING HEIGHT	20 FT.	20 FT.
* CENTRAL SEWER AND CENTRAL WATER		

WATERS & WETLANDS CERTIFICATION:  
 I DO HEREBY CERTIFY THAT THE DELINEATION OF THE WATERS & WETLANDS SHOWN ON THIS PLAN IS IN ACCORDANCE WITH THE FINDINGS OF MY FIELD INVESTIGATION AND THAT I HAVE DETERMINED THESE LIMITS BASED UPON THE U.S. CORPS OF ENGINEERS GUIDELINES.

DATE: \_\_\_\_\_ ESE CONSULTANTS, INC.

### ENGINEER CERTIFICATION

I, SUSAN A. RICE, P.E., ON THIS DATE \_\_\_\_\_ HEREBY CERTIFY THAT THE DRAINAGE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE DOUGLASS TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

SUSAN A. RICE, P.E.

### STORMWATER STATEMENT

ANY REVISION TO THE APPROVED POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN MUST BE APPROVED BY DOUGLASS TOWNSHIP AND THE MONTGOMERY COUNTY CONSERVATION DISTRICT AND/OR DEP (IF GREATER THAN 1 ACRE OF LAND DISTURBANCE). A REVISED EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE MONTGOMERY COUNTY CONSERVATION DISTRICT FOR A DETERMINATION OF ADEQUACY.

APPLICANT SIGNATURE \_\_\_\_\_

### TOWNSHIP SUPERVISOR'S CERTIFICATION

THIS PLAN HAS BEEN APPROVED BY THE DOUGLASS TOWNSHIP BOARD OF SUPERVISORS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

CHAIRMAN, BOARD OF SUPERVISORS \_\_\_\_\_  
 ATTESTED: SECRETARY \_\_\_\_\_

### TOWNSHIP PLANNING AGENCY CERTIFICATION

THIS PLAN HAS BEEN APPROVED BY THE DOUGLASS TOWNSHIP PLANNING AGENCY THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

PLANNING COMMISSION CHAIRMAN \_\_\_\_\_  
 ATTESTED: SECRETARY \_\_\_\_\_

### TOWNSHIP ENGINEER'S CERTIFICATION

REVIEWED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BY THE TOWNSHIP ENGINEER FOR DOUGLASS TOWNSHIP, MONTGOMERY COUNTY, PA.

ENGINEER'S SIGNATURE \_\_\_\_\_

### FOR THE DIRECTOR

MONTGOMERY COUNTY PLANNING COMMISSION

### SURVEYOR CERTIFICATION

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON, AS WELL AS ALL OTHER DRAWINGS WHICH ARE A PART OF THIS PLAN SET, ARE TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE DOUGLASS TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, AND WERE PREPARED BY ME OR UNDER MY DIRECTION AND FOR WHICH I ACCEPT FULL RESPONSIBILITY, AND REPRESENTS A FIELD SURVEY PERFORMED BY ME OR UNDER MY DIRECTION. THE EXISTING PERIMETER MONUMENTS SHOWN HEREON HAVE BEEN LOCATED AS PART OF THE SURVEY AND ALL OTHER PROPOSED PERIMETER MONUMENTS SHALL BE SET.

DATE: \_\_\_\_\_

CLIFFORD T. STOUT, P.L.S. #282-A  
 DATE: \_\_\_\_\_, 20\_\_\_\_



### RECORD PLAN OF SUBDIVISION

OF  
**303 & 335 GILBERTSVILLE ROAD**  
 PREPARED FOR  
**WEXFORD COURT, LLC.**  
 SITE SITUATE IN  
 DOUGLASS TOWNSHIP  
 MONTGOMERY COUNTY, PENNSYLVANIA

# STATA

Engineering, Inc.

Civil Engineers - Land Surveyors  
 2499 KNIGHT ROAD, PENNSBURG, PA 18073  
 MAILING: P.O. BOX 87, RED HILL, PA 18076  
 PH: (215) 679-0200; WWW.STATACOM.COM

PLAN SCALE: 1"=50'  
 DRAFTED BY: J.A.C.  
 PROJECT NUMBER: 5686

PROJECT MANAGER: M.E.T.  
 DRAWING FILE NUMBER: 5686SUB  
 PLAN SHEET NUMBER: 1 of 24

303 & 335 GILBERTSVILLE ROAD (STA. JOB #5686)

### LEGEND

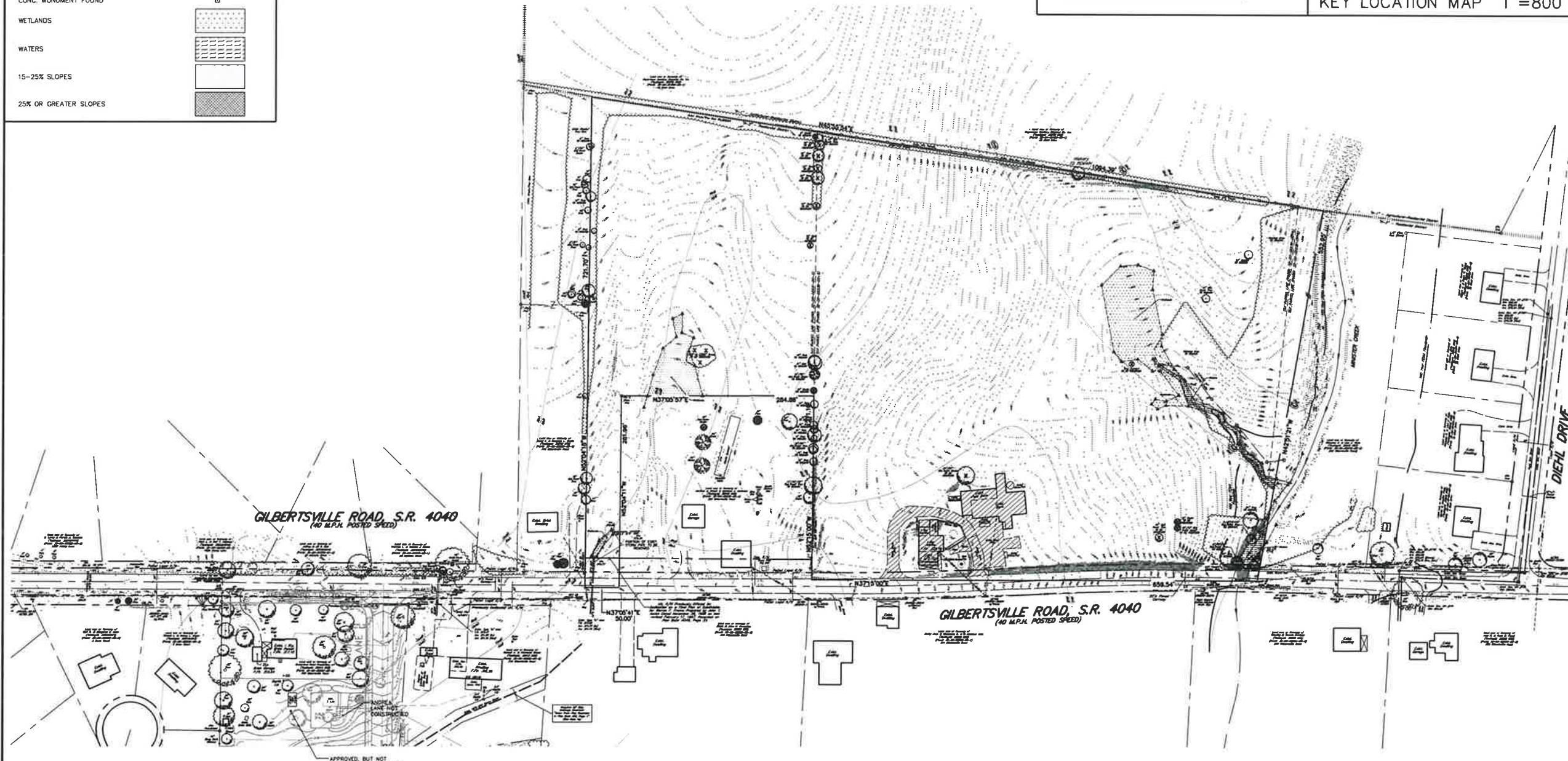
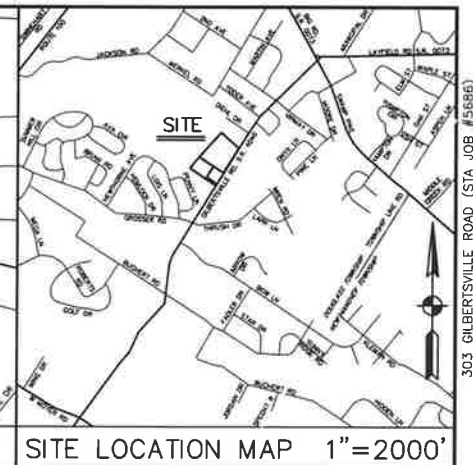
ADJOINING OWNERS	-----
ZONING DISTRICT BOUNDARY LINES	-----
EXISTING CONTOUR (MAJOR)	-----
EXISTING CONTOUR (MINOR)	-----
EXISTING SANITARY SEWER	-----
EXISTING STORM SEWER	-----
EXISTING EDGE OF ROAD	-----
EXISTING RIGHT-OF-WAY	-----
EXISTING CENTERLINE	-----
EXISTING DRIVES	-----
EXISTING EASEMENT	-----
EXISTING WOODS	-----
100 YEAR FEMA FLOODPLAIN	-----
ALLUVIAL SOILS	-----
SOIL LINE	-----
EXISTING CONCRETE	-----
OVERHEAD WIRES	-----
EXISTING LAMP POST	LP
EXISTING CLEANOUT	CO
EXISTING UTILITY POLE	UP
EXISTING MANHOLE	MH
EXISTING SIGN	S
IRON PIN FOUND	IP
CONC. MONUMENT FOUND	CM
WETLANDS	-----
WATERS	-----
15-25% SLOPES	-----
25% OR GREATER SLOPES	-----

X DENOTES TREES TO BE REMOVED

----- DESIGNATES STRUCTURES TO BE REMOVED

### NOTES

- TITLE LINE INFORMATION TAKEN FROM EXISTING DEEDS, PLANS OF RECORD, AND VERIFIED BY ACTUAL FIELD MEASUREMENTS TAKEN BY THIS OFFICE IN MAY 2018.
- CONTOUR DATA SHOWN HEREON HAS BEEN BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD 88).
  - BENCHMARK ELEVATION: 322.16  
BENCHMARK DESCRIPTION: EXISTING 2 1/2 STORY FARM HOUSE FINISH FLOOR ELEVATION.
  - BENCHMARK ELEVATION: 317.62  
BENCHMARK DESCRIPTION: TOP OF GRATE ELEVATION OF EXISTING TYPE 'W' INLET LOCATE ALONG GILBERTSVILLE ROAD ON STA. 2+18, 23' RT.
  - BENCHMARK ELEVATION: 290.54  
BENCHMARK DESCRIPTION: RIM ELEVATION OF EXISTING SANITARY MANHOLE #175 ON THE GILBERTSVILLE ROAD & DIEHL ROAD C/L INTERSECTION.
- TOPOGRAPHIC DATA AS SHOWN HEREON GATHERED FROM A CURRENT FIELD SURVEY PERFORMED BY THIS OFFICE IN MAY, 2018.
- THE 100 YEAR FLOODPLAIN LINE AS SHOWN HEREON TAKEN FROM A FLOOD INSURANCE RATE MAP FOR DOUGLASS TOWNSHIP, COMMUNITY PANEL No. 420010086C, REVISED MARCH 2, 2016, PREPARED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
- WETLANDS WERE FIELD DELINEATED BY ESE CONSULTANTS, INC. ON AUGUST 30 AND 31, 2018. THE WETLANDS, WATERS AND ALLUVIAL SOILS SHOWN HEREON HAVE BEEN FIELD LOCATED AND PLOTTED BY THIS OFFICE AND VERIFIED BY ESE CONSULTANTS, INC.



### SITE STATISTICS

- SUBJECT TRACTS MAY BE IDENTIFIED BY MONTGOMERY COUNTY TAX ASSESSMENT INFORMATION AS FOLLOWS:
 

DOUGLASS TOWNSHIP	
A. TAXMAPID: 32042 008	(PARID: 32-00-02236-00-9)
B. TAXMAPID: 32042 117	(PARID: 32-00-02236-01-8)
C. TAXMAPID: 32042 116	(PARID: 32-00-02231-00-5)
- RECORDED DEED DATA IS AS FOLLOWS:
 

AS RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC., IN AND FOR THE COUNTY OF MONTGOMERY AT NORRISTOWN, PENNSYLVANIA.

A. DEED BOOK 6110, PAGE 1956
B. DEED BOOK 6110, PAGE 1956
C. DEED BOOK 6119, PAGE 0988
- NAME AND ADDRESS OF THE OWNERS OF THE SUBJECT TRACTS:
 

WEXFORD COURT, LLC  
53 HANLEY LANE  
EDMUNSTON, PA 19335
- AREA STATISTICS:
 

A. TRACT AREA = 9.55 AC. (TO TITLE LINES)
B. TRACT AREA = 0.24 AC. (TO TITLE LINES)
C. TRACT AREA = 3.50 AC. (TO TITLE LINES)
TOTAL TRACT AREA = 13.29 AC. (TO TITLE LINES)

### ZONING DATA

DATA OBTAINED FROM DOUGLASS TOWNSHIP ZONING ORDINANCE, AS LAST REVISED 2007, REFERENCE PART 4, SECTIONS 402 & 403.

DISTRICT CLASSIFICATION: "R-2" - RESIDENTIAL DISTRICT\*

CRITERIA:	REQUIRED:
MINIMUM LOT AREA	15,000 S.F.
(CENTRAL SEWER, CENTRAL WATER):	
MINIMUM LOT WIDTH @ SETBACK LINE:	100 FT.
FRONT YARD SETBACK:	35 FT.
SIDE YARD RESTRICTION:	20 FT.
REAR YARD RESTRICTION:	25 FT.
MAXIMUM BUILDING COVERAGE:	15 %
MAXIMUM PRINCIPAL BUILDING HEIGHT:	35 FT.
MAXIMUM ACCESSORY BUILDING HEIGHT:	20 FT.

\* CENTRAL SEWER AND CENTRAL WATER

4 JAC	PER VARIOUS REVIEWS	FEB. 24, 2021
3 JAC	PER VARIOUS REVIEWS	AUG. 4, 2020
2 JAC	PER VARIOUS REVIEWS	MAR. 18, 2020
1 JAC	S.T.A. PLAN ORIGINATOR DATE	AUG. 30, 2019

OVERALL EXISTING FEATURES/DEMOLITION PLAN  
OF  
303 & 335 GILBERTSVILLE ROAD  
PREPARED FOR  
WEXFORD COURT, LLC.  
SITE SITUATE IN  
DOUGLASS TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA

### SOILS DATA

DATA OBTAINED FROM N.R.C.S. SOIL SURVEY.

ABR - ABBOTTSTOWN SILT LOAM, 3 TO 8 PERCENT SLOPES.
PAO - PENN-KUNESVILLE CHANNERY SILT LOAMS, 15 TO 25 PERCENT SLOPES.
RAA - REAVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES.
RBA - REAVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES.
RBC - REAVILLE SILT LOAM, 8 TO 15 PERCENT SLOPES.
RI - ROWLAND SILT LOAM, TERRACE.
RA6 - ROWLAND SILT LOAM, 3 TO 8 PERCENT SLOPES.

## S T A

Engineering, Inc

**Civil Engineers • Land Surveyors**

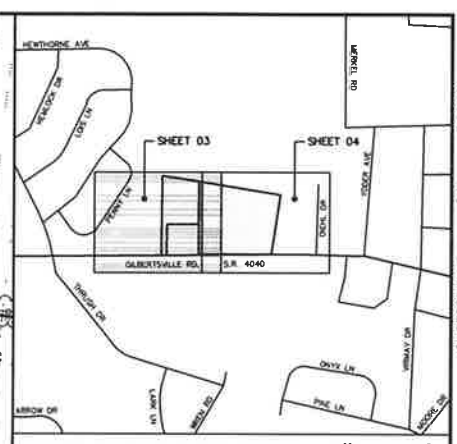
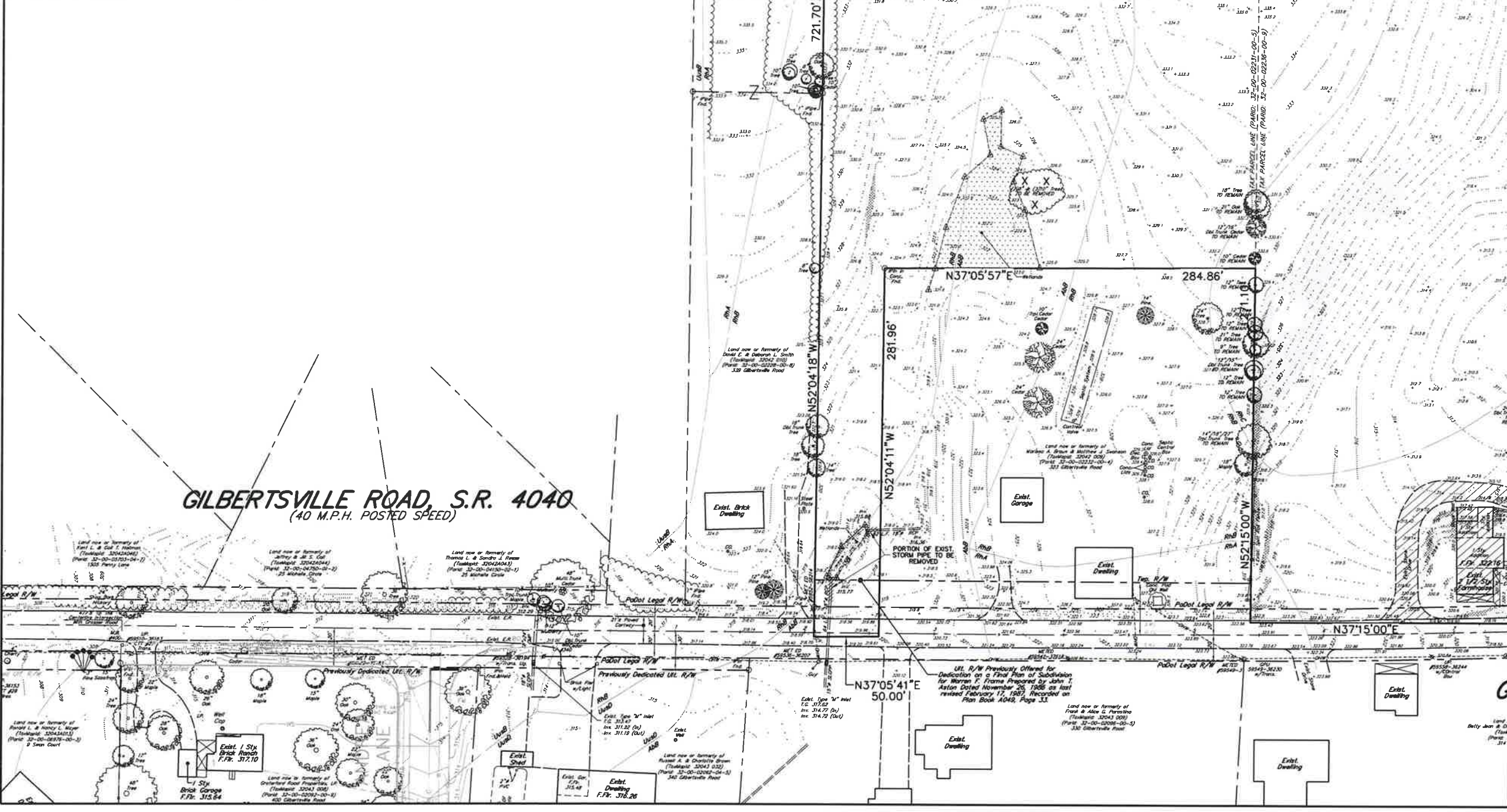
2499 KNIGHT ROAD, PENNSBURG, PA 18073  
MAILING: P.O. BOX 87, RED HILL, PA 18076  
PH: (215) 679-0200; www.statac.com

PLAN SCALE	DRAWN BY	PROJECT MANAGER	PLAN SHEET NUMBER
1"=80'	J.A.C.	M.E.T.	2 of 24
	PROJECT NUMBER	DRAWING FILE NUMBER	
	5686	5686EF	

LEGEND	
ADJOINING OWNERS	
ZONING DISTRICT BOUNDARY LINES	---ZOT---
EXISTING CONTOUR (MAJOR)	-----307-----
EXISTING CONTOUR (MINOR)	-----320-----
EXISTING SANITARY SEWER	---S---S---
EXISTING STORM SEWER	---S---S---
EXISTING EDGE OF ROAD	-----EOR-----
EXISTING RIGHT-OF-WAY	-----EOR-----
EXISTING CENTERLINE	-----CL-----
EXISTING DRIVES	-----D---
EXISTING EASEMENT	-----E---
EXISTING WOODS	-----W---
100 YEAR FEMA FLOODPLAIN	-----FF---
ALLUVIAL SOILS	-----AS---
SOIL LINE	-----SL---
EXISTING CONCRETE	-----C---
OVERHEAD WIRES	-----OW---
EXISTING LAMP POST	○ L.P.
EXISTING CLEANOUT	○ C.O.
EXISTING UTILITY POLE	○ U.P.
EXISTING MANHOLE	○ M.H.
EXISTING SIGN	○ S
IRON PIN FOUND	○ I.P.F.
CONC. MONUMENT FOUND	○ C.M.F.
WETLANDS	-----W---
WATERS	-----W---
15-25% SLOPES	-----S---
25% OR GREATER SLOPES	-----S---

X DENOTES TREES TO BE REMOVED

DESIGNATES STRUCTURES TO BE REMOVED



KEY LOCATION MAP 1"=800'

NOTES

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- CONTOUR DATA SHOWN HEREON HAS BEEN BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD 88).
  - A. BENCHMARK ELEVATION: 322.18  
BENCHMARK DESCRIPTION: EXISTING 2 1/2 STORY FARM HOUSE FINISH FLOOR ELEVATION.
  - B. BENCHMARK ELEVATION: 317.62  
BENCHMARK DESCRIPTION: TOP OF GRATE ELEVATION OF EXISTING TYPE "M" INLET LOCATE ALONG GILBERTSVILLE ROAD ON STA. 2+18, 23' RT.
  - C. BENCHMARK ELEVATION: 290.54  
BENCHMARK DESCRIPTION: RIM ELEVATION OF EXISTING SANITARY MANHOLE #175 ON THE GILBERTSVILLE ROAD & DIEHL ROAD C/L INTERSECTION.
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SOILS DATA

DATA OBTAINED FROM N.R.C.S. SOIL SURVEY.

ABB - ABBOTTSTOWN SILT LOAM, 3 TO 8 PERCENT SLOPES.

PHD - PENN-KUNESVILLE CHANNERY SILT LOAMS, 15 TO 25 PERCENT SLOPES.

RHA - REAVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES.

RHB - REAVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES.

RHC - REAVILLE SILT LOAM, 8 TO 15 PERCENT SLOPES.

RI - ROWLAND SILT LOAM, TERRACE.

RWB - ROWLAND SILT LOAM, 3 TO 8 PERCENT SLOPES.



NO.	DATE	DESCRIPTION
4	FEB. 24, 2021	PER VARIOUS REVIEWS
3	AUG. 4, 2020	PER VARIOUS REVIEWS
2	MAR. 18, 2020	PER VARIOUS REVIEWS
1	AUG. 30, 2019	S.T.A. PLAN ORIGINATOR DATE


EXISTING FEATURES/DEMOLITION PLAN  
 OF  
**303 & 335 GILBERTSVILLE ROAD**  
 PREPARED FOR  
**WEXFORD COURT, LLC.**  
 SITE SITUATE IN  
 DOUGLASS TOWNSHIP  
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PLAN SCALE	DRAFTED BY	PROJECT MANAGER	PLAN SHEET NUMBER
1"=40'	J.A.C.	M.E.T.	3 OF 24
	PROJECT NUMBER	DRAWING FILE NUMBER	
	5686	5686EF	

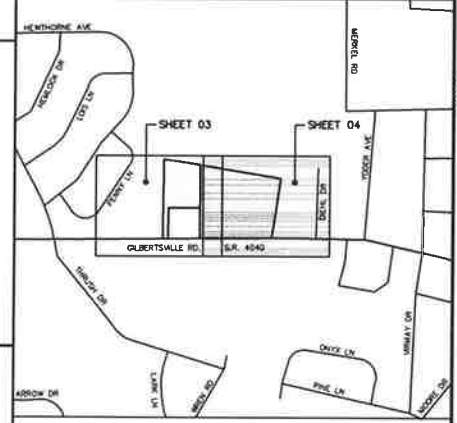


 DENOTES SOIL MAPPING PER NRCS THAT HAS BEEN FOUND TO BE INACCURATE BASED ON FIELD STUDY. THESE SOILS, SHOWN OUTSIDE OF THE LIMITS OF ALLUVIAL SOILS, ARE MORE APPROPRIATELY MAPPED AS REAVILLE SOILS. REFER TO ESE CONSULTANTS ADDENDUM: ALLUVIAL SOIL EVALUATION DATED JANUARY 8, 2020.

**LEGEND**

- ADJOINING OWNERS
- ZONING DISTRICT BOUNDARY LINES
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING EDGE OF ROAD
- EXISTING RIGHT-OF-WAY
- EXISTING CENTERLINE
- EXISTING DRIVES
- EXISTING EASEMENT
- EXISTING WOODS
- 100 YEAR FEMA FLOODPLAIN
- ALLUVIAL SOILS
- SOIL LINE
- EXISTING CONCRETE
- OVERHEAD WIRES

- EXISTING LAMP POST
- EXISTING CLEANOUT
- EXISTING UTILITY POLE
- EXISTING MANHOLE
- EXISTING SIGN
- IRON PIN FOUND
- CONC. MONUMENT FOUND
- WETLANDS
- WATERS
- 15-25% SLOPES
- 25% OR GREATER SLOPES



**KEY LOCATION MAP 1"=800'**

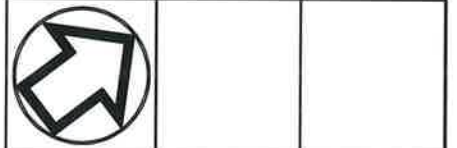
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  - A. BENCHMARK ELEVATION: 322.18  
BENCHMARK DESCRIPTION: EXISTING 2 1/2 STORY FARM HOUSE FINISH FLOOR ELEVATION.
  - B. BENCHMARK ELEVATION: 317.82  
BENCHMARK DESCRIPTION: TOP OF GRATE ELEVATION OF EXISTING TYPE "M" INLET LOCATE ALONG GILBERTSVILLE ROAD ON STA. 2+18, 23' RT.
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**SOILS DATA**

DATA OBTAINED FROM N.R.C.S. SOIL SURVEY.

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- PHD - PENN-KUNESVILLE CHANNERY SILT LOAMS, 15 TO 25 PERCENT SLOPES.
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- RHB - REAVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES.
- RHC - REAVILLE SILT LOAM, 8 TO 15 PERCENT SLOPES.
- RT - ROWLAND SILT LOAM, TERRACE
- RWB - ROWLAND SILT LOAM, 3 TO 8 PERCENT SLOPES.

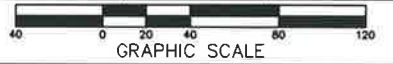
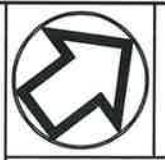


4	JAC	PER VARIOUS REVIEWS	FEB 24, 2021
3	JAC	PER VARIOUS REVIEWS	AUG 4, 2020
2	JAC	PER VARIOUS REVIEWS	MAR 18, 2020
1	JAC	S.T.A./JAN ORIGINATOR DATE	AUG 30, 2019

EXISTING FEATURES/DEMOLITION PLAN  
 OF  
**303 & 335 GILBERTSVILLE ROAD**  
 PREPARED FOR  
**WEXFORD COURT, LLC.**  
 SITE SITUATE IN  
 DOUGLASS TOWNSHIP  
 MONTGOMERY COUNTY, PENNSYLVANIA

  
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PLAN SCALE	DRAWN BY	PROJECT MANAGER	PLAN SHEET NUMBER
1"=40'	J.A.C.	M.E.T.	4 OF 24
	PROJECT NUMBER	GRAPHIC FILE NUMBER	
	5686	5686EF	



**CONSTRUCTION NOTES**

- NO TOPSOIL SHALL BE RELEASED FROM THE SITE UNTIL THE ENTIRE SITE HAS BEEN GRADED WITH A MINIMUM OF EIGHT (8) INCHES OF TOPSOIL.
- ALL STORMWATER PIPES TO BE CLASS B REINFORCED CONCRETE PIPE WITH 0-RING JOINTS.
- STORMWATER ROOF DRAINS AND SWMP PUMP LINES SHALL NOT DISCHARGE OVER SIDEWALKS OR BE PIPED DIRECTLY TO THE ROAD OUTER.
- CURBS, SIDEWALKS, ROADS AND OTHER PUBLIC IMPROVEMENTS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE DOUGLASS TOWNSHIP STANDARDS AND SPECIFICATIONS.
- A MINIMUM OF EIGHTEEN (18) INCHES OF COVER TO BE PROVIDED OVER PIPES AT ALL ENDWALLS.
- ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RULES, REGULATIONS AND ORDINANCES OF THE BERKS-MONTGOMERY MUNICIPAL AUTHORITY AND THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION. ALL SANITARY SEWER EASEMENTS SHALL BE IDENTIFIED AND EXCLUSIVE AND SHALL BE DEDICATED TO THE BERKS-MONTGOMERY MUNICIPAL AUTHORITY.
- WHENEVER SANITARY SEWER LINES ARE PROPOSED OUTSIDE OF STREETS/MACADAM AREA, THE MANHOLE TOPS SHALL EXTEND A MINIMUM OF 18 INCHES ABOVE FINISHED GRADE AND WATER TIGHT MANHOLE FRAMES AND COVERS SHALL BE INSTALLED.
- THE ON-LOT SEWAGE DISPOSAL SYSTEMS SHALL BE ABANDONED IN ACCORDANCE WITH TOWNSHIP MONTGOMERY COUNTY HEALTH DEPARTMENT AND DEP RULES AND REGULATIONS AND INSPECTED BY THE APPROPRIATE PARTY.
- THE SANITARY SEWER LATERAL SHALL CONSIST OF 6-INCH PVC PIPE CONSTRUCTED TO THE 6-INCH PVC MAIN TO THE ROAD R/W LINE OR THE EDGE OF THE 20 FT. WIDE EASEMENT AND SHALL BE INSPECTED AT THE SAME TIME AS THE SANITARY SEWER MAIN.
- BUILDING SEWER SHALL EXTEND FROM THE END OF THE LATERAL TO THE DWELLING AND SHALL CONFORM TO THE CONSTRUCTION MATERIALS AND SPECIFICATIONS FOR BUILDING SEWER RESPIRATION SHALL OCCUR IN CONNECTION TO THE LATERAL IS MADE. A WATER TIGHT PLUG SHALL BE INSTALLED AT THE END OF THE 6-INCH LATERAL TO ALLOW FOR TESTING OF THE LATERAL ALONG WITH THE SANITARY SEWER MAIN AND MANHOLES.
- NO BUILDING SEWER CONNECTIONS SHALL BE MADE UNTIL THE PROPOSED SANITARY SEWER MAINS, LATERALS AND MANHOLES ARE TESTED AND CERTIFIED FOR FLOW BY THE AUTHORITY ENGINEER.
- IF THERE IS LESS THAN EIGHTEEN (18) INCHES OF VERTICAL SEPARATION BETWEEN WATER AND SANITARY SEWER LINES, THE SANITARY SEWER LINE SHALL BE CONSTRUCTED WITH 2-300 PVC PIPE IN LIEU OF CONCRETE ENCASUREMENT. PRESSURE REDUCING VALVES TO BE INSTALLED IN EACH ROW.
- THE WATER SYSTEM SHALL CONFORM TO THE REQUIREMENTS OF AQUA PENNSYLVANIA, INC. REFER TO AQUA PLANS FOR APPROVAL WATER MAIN DESIGN.
- A POLE LAMP SHALL BE INSTALLED ON EACH LOT AT THE DRIVEWAY LOCATION, 5 FEET FROM THE ULTIMATE RIGHT-OF-WAY LINE.
- NO FLOOR DRAINS SHALL BE CONNECTED TO THE MUNICIPAL AUTHORITY SANITARY SEWER SYSTEM.
- THE INSTALLATION OF THE PROPOSED BUILDING SEWER LINE LOCATED WITHIN THE COMPASSES OF EACH LOT/PROPERTY IS SUBJECT TO THE APPROVAL AND INSPECTION BY THE BERKS-MONTGOMERY MUNICIPAL AUTHORITY ACTING ON BEHALF OF THE TOWNSHIP CODE ENFORCEMENT OFFICER. THE VENTED RUNNING TRAP WITH CLEANOUT ON THE PROPOSED 4" PVC BUILDING SEWER SHOULD NOT BE LOCATED IN AN AREA SUBJECT TO FLOODING OR ANY LOW-LYING AREA AND THE TOPS OF VENTS/CLEANOUTS SHALL BE RAISED ABOVE GRADE AS SHOWN ON BAMA STANDARDS. DETAILS NO. 21 SHOWN ON SHEET 22. THE BUILDING SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE UNIFORM CONSTRUCTION CODE AS ADOPTED BY DOUGLASS TOWNSHIP AND APPLICABLE BAMA RULES AND REGULATIONS. CONNECTION CAN ONLY TAKE PLACE AFTER A LETTER OF "CERTIFICATION FOR FLOW" IS ISSUED BY BAMA BY SOE, INC.

**LEGEND**

PROPOSED WATER MAIN	---B'F#---
PROPOSED WATER SERVICE	---WS---
PROPOSED 6" SANITARY LATERAL	---
PROPOSED BUILDING SEWER	---
PROPOSED STORM SEWER	---
PROPOSED SANITARY SEWER	---
PROPOSED CURB	---
PROPOSED EDGE OF ROAD	---
PROPOSED EASEMENT	---
PROPOSED RIGHT-OF-WAY	---
PROPOSED CENTERLINE	---
PROPOSED CONCRETE WALKWAY	---
ADJOINING OWNERS	---
SETBACK LINES	---
ZONING LINES	---
PROPOSED CONTOUR (MAJOR)	290
PROPOSED CONTOUR (MINOR)	292
ADJOINING OWNERS	---
SETBACK LINES	---
ZONING DISTRICT BOUNDARY LINES	---
EXISTING CONTOUR (MAJOR)	301
EXISTING CONTOUR (MINOR)	300
EXISTING SANITARY SEWER	---
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1	JAC	S.T.A. PLAN ORIGINATOR DATE	AUG. 30, 2019

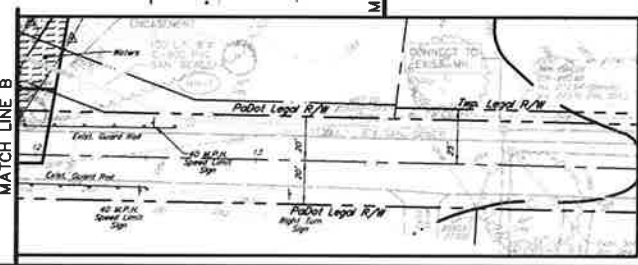
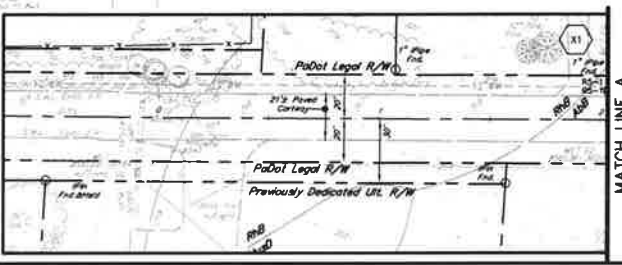
**CONSTRUCTION IMPROVEMENT PLAN**  
 OF  
**303 & 335 GILBERTSVILLE ROAD**  
 PREPARED FOR  
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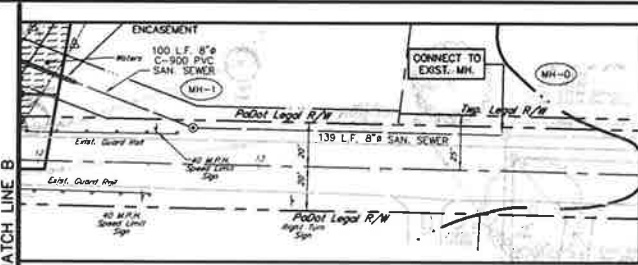
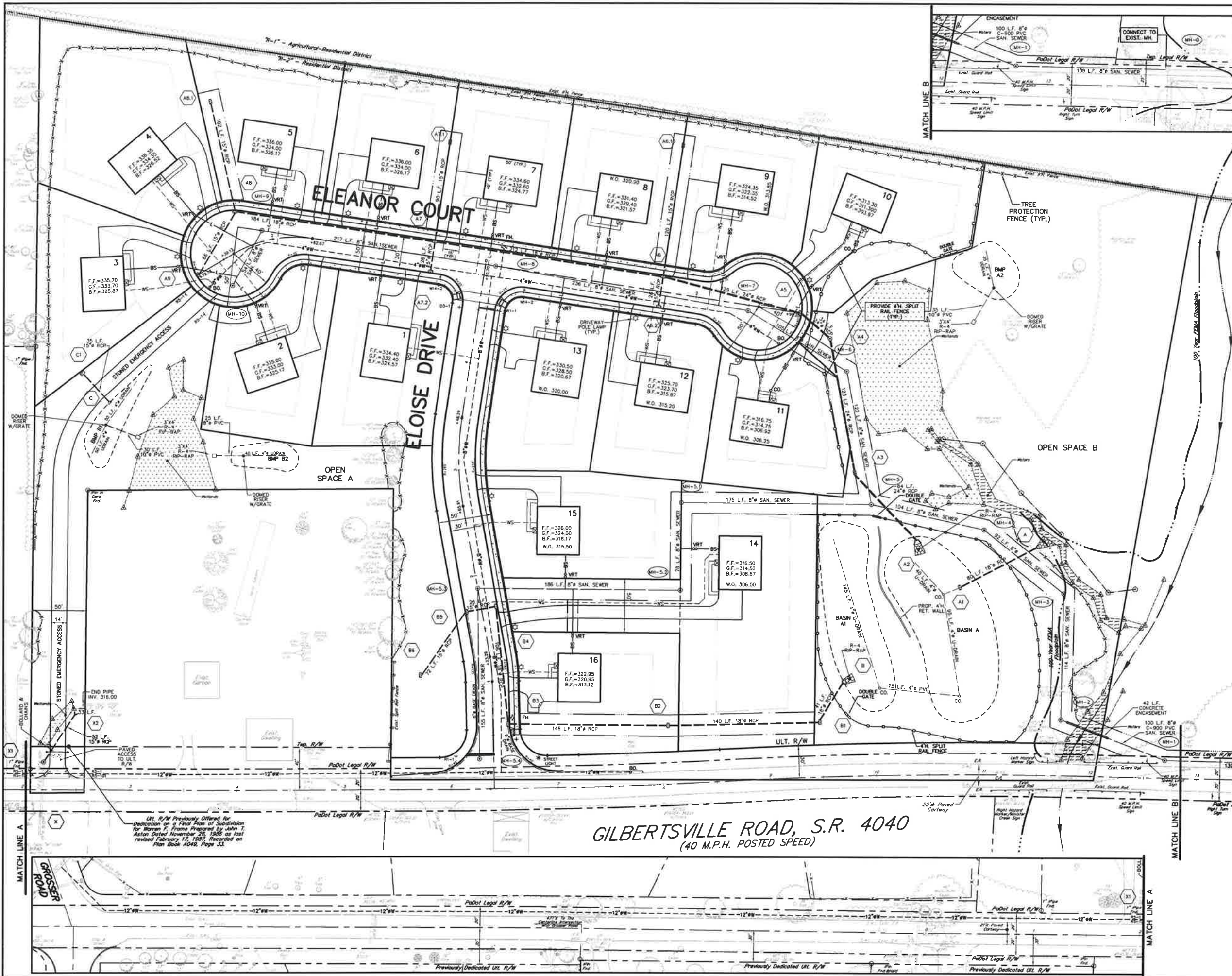
PLAN SCALE	DRAWN BY	PROJECT MANAGER	PLAN SHEET NUMBER
1"=40'	J.A.C.	M.E.T.	5 OF 24
	PROJECT NUMBER	DRAWING FILE NUMBER	
	5686	5686C1	

**GILBERTSVILLE ROAD, S.R. 4040**  
 (40 M.P.H. POSTED SPEED)

URL R/W Previously Offered for Dedication on a Final Plan of Subdivision for Warren F. Frame Prepared by John T. Aston Dated November 25, 1986 as last revised February 17, 1987. Recorded on Plan Book 4046, Page 12.



303 & 335 GILBERTSVILLE ROAD (S.T.A. JOB #588)



**CONSTRUCTION NOTES**

1. NO TOPSOIL SHALL BE RELEASED FROM THE SITE UNTIL THE ENTIRE SITE HAS BEEN GRADED WITH A MINIMUM OF EIGHT (8) INCHES OF TOPSOIL.
2. ALL STORMWATER PIPES TO BE CLASS II REINFORCED CONCRETE PIPE WITH 0-RING JOINTS.
3. STORMWATER ROOF DRAINS AND SWAMP PUMP LINES SHALL NOT DISCHARGE OVER SIDEWALKS OR BE PIPED DIRECTLY TO THE ROAD GUTTER.
4. CURBS, SIDEWALKS, ROADS AND OTHER PUBLIC IMPROVEMENTS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE DOUGLASS TOWNSHIP STANDARDS AND SPECIFICATIONS.
5. A MINIMUM OF EIGHTEEN (18) INCHES OF COVER TO BE PROVIDED OVER PIPES AT ALL ENDWALLS.
6. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RULES, REGULATIONS AND SPECIFICATIONS OF THE BERKS-MONTGOMERY MUNICIPAL AUTHORITY AND THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
7. ALL SANITARY SEWER EASEMENTS SHALL BE PERPETUAL AND EXCLUSIVE AND SHALL BE DEDICATED TO THE BERKS-MONTGOMERY MUNICIPAL AUTHORITY.
8. WHENEVER SANITARY SEWER LINES ARE PROPOSED OUTSIDE OF STREETS/MACADAM AREA, THE MANHOLE TOPS SHALL EXTEND A MINIMUM OF 18 INCHES ABOVE FINISHED GRADE AND WATER TIGHT MANHOLE FRAMES AND COVERS SHALL BE INSTALLED.
9. THE ON-LOT SEWAGE DISPOSAL SYSTEMS SHALL BE ABANDONED IN ACCORDANCE WITH TOWNSHIP, MONTGOMERY COUNTY HEALTH DEPARTMENT AND DEP RULES AND REGULATIONS AND INSPECTED BY THE APPROPRIATE PARTY.
10. THE SANITARY SEWER LATERAL SHALL CONSIST OF 6-INCH PVC PIPE CONSTRUCTED FROM THE 8-INCH PVC MAIN TO THE ROAD R/W LINE OR THE EDGE OF THE 20 FT. WIDE EASEMENT AND SHALL BE INSPECTED AT THE SAME TIME AS THE SANITARY SEWER MAIN.
11. BUILDING SEWER SHALL EXTEND FROM THE END OF THE LATERAL TO THE DWELLING AND SHALL CONFORM TO THE CONSTRUCTION MATERIALS AND SPECIFICATIONS FOR BUILDING SEWER. INSPECTION SHALL OCCUR WHEN CONNECTION TO THE LATERAL IS MADE. A WATER TIGHT PLUG SHALL BE INSTALLED AT THE END OF THE 6-INCH LATERAL TO ALLOW FOR AIR TESTING OF THE LATERAL ALONG WITH THE SANITARY SEWER MAIN AND MANHOLES.
12. NO BUILDING SEWER CONNECTIONS SHALL BE MADE UNTIL THE PROPOSED SANITARY SEWER MAINS, LATERAL(S) AND MANHOLES ARE TESTED AND CERTIFIED FOR FLOW BY THE AUTHORITY ENGINEER.
13. WHENEVER THERE IS LESS THAN EIGHTEEN (18) INCHES OF VERTICAL SEPARATION BETWEEN WATER AND SANITARY SEWER LINES, THE SANITARY SEWER LINE SHALL BE CONSTRUCTED OF C-900 PVC PIPE IN LIEU OF CONCRETE ENCASUREMENT.
14. PRESSURE REDUCING VALVES TO BE INSTALLED IN EACH HOME.
15. THE WATER SYSTEM SHALL CONFORM TO THE REQUIREMENTS OF AQUA PENNSYLVANIA, INC. REFER TO AQUA PLANS FOR APPROVAL WATER MAIN DESIGN.
16. A POLE LAMP SHALL BE INSTALLED ON EACH LOT AT THE DRIVEWAY LOCATION, 5 FEET BEHIND THE ULTIMATE RIGHT-OF-WAY LINE.
17. NO FLOOR DRAINS SHALL BE CONNECTED TO THE MUNICIPAL AUTHORITY SANITARY SEWER SYSTEM.
18. THE INSTALLATION OF THE PROPOSED BUILDING SEWER LINE LOCATED WITHIN THE CONFINES OF EACH LOT/PROPERTY IS SUBJECT TO THE APPROVAL AND INSPECTION BY THE BERKS-MONTGOMERY MUNICIPAL AUTHORITY ACTING ON BEHALF OF THE TOWNSHIP CODE ENFORCEMENT OFFICER. THE VENTED RUNNING TRAP WITH CLEANOUT ON THE PROPOSED 4\"/>

**LEGEND**

PROPOSED WATER MAIN	---8\"/>
PROPOSED WATER SERVICE	---WS---
PROPOSED 8\"/>	
PROPOSED BUILDING SEWER	---BS---
PROPOSED VENTED RUNNING TRAP	---VRT---
PROPOSED CLEANOUT	---CO---
PROPOSED STORM SEWER	---SS---
PROPOSED SANITARY SEWER	---SS---
PROPOSED CURB	---C---
PROPOSED EDGE OF ROAD	---EOR---
PROPOSED EASEMENT	---E---
PROPOSED RIGHT-OF-WAY	---ROW---
PROPOSED CENTERLINE	---CL---
PROPOSED CONCRETE WALKWAY	---CW---
ADJOINING OWNERS	---AO---
SETBACK LINES	---SL---
ZONING LINES	---ZL---



4	JAC	PER VARIOUS REVIEWS	FEB. 24, 2021
3	JAC	PER VARIOUS REVIEWS	AUG. 4, 2020
2	JAC	PER VARIOUS REVIEWS	MAR. 18, 2020
1	JAC	S.T.A. PLAN ORIGINATOR DATE	AUG. 30, 2019

**UTILITY PLAN**  
 of  
**303 & 335 GILBERTSVILLE ROAD**  
 PREPARED FOR  
**WEXFORD COURT, LLC.**  
 SITE SITUATE IN  
 DOUGLASS TOWNSHIP  
 MONTGOMERY COUNTY, PENNSYLVANIA

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PLAN SCALE	DRAWN BY	PROJECT MANAGER	PLAN SHEET NUMBER
1" = 40'	J.A.C.	M.E.T.	6 OF 24
	PROJECT NUMBER	DRAWING FILE NUMBER	
	5686	5686GUT	

**GILBERTSVILLE ROAD, S.R. 4040**  
 (40 M.P.H. POSTED SPEED)

Ult. R/W Previously Offered for Dedication on a Final Plan of Subdivision for Homes F. Frame Prepared by John T. Aston Dated November 25, 1986 as last revised February 17, 1987. Recorded on Plan Book 4049, Page 33.

303 & 335 GILBERTSVILLE ROAD (STA. JOB #5686)

### CONTOUR LEGEND

EXISTING CONTOURS - MINOR  
EXISTING CONTOURS - MAJOR  
PROPOSED CONTOURS - MINOR  
PROPOSED CONTOURS - MAJOR  
TEMPORARY BASIN CONTOURS

---

### ACT 50 UTILITY NOTE



ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 121 AS FOR THE AMENDMENT OF PA ACT 287 OF 1974, EFFECTIVE OCTOBER 30, 2017 CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK. REFERENCE UTILITY CASE NUMBER 20181240999.

### LEGEND

COMPOST FILTER SOCK	FS
FILTREXX DIVERSION BERM	DB
NPDES PERMIT BOUNDARY	---
LIMIT OF DISTURBANCE	---
INLET SHED LINE	---
SEDIMENT BASIN/TRAP SHED LINE	---
TREE PROTECTION FENCE	X-X-X
ORANGE CONSTRUCTION FENCE	---
PHASE LINE	---
BAFFLE	---
SWALE LINING	---
STOCKPILE AREA	---
CONSTRUCTION ENTRANCE	---
INLET PROTECTION	---
ROCK FILTER	---
CLEANOUT STAKES	---
(WHICH ACCUMULATED SEDIMENT HAS REACHED THE SEDIMENT CLEANOUT ELEVATION, THE SEDIMENT MUST BE REMOVED AND THE BASIN RETURNED TO ITS ORIGINAL DIMENSIONS. SURVEY RIBBON STARTED TO THE STAKE SHOULD BE USED TO MARK THE CLEANOUT ELEVATION.)	---
EROSION CONTROL BLANKET (E.C.B.)	---
100 YEAR FEMA FLOODPLAIN	---
ALLUVIAL SOILS	---
SOIL LINE	---

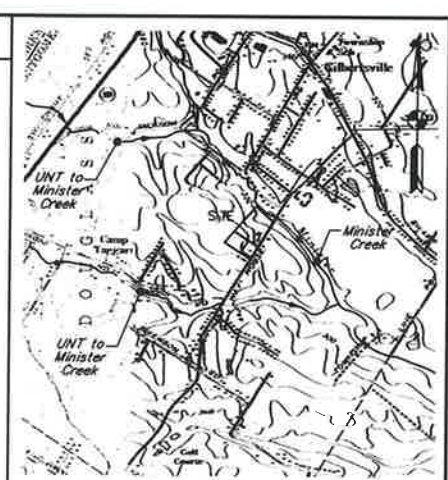
PROPOSED WATER MAIN	---
PROPOSED WATER SERVICE	---
PROPOSED 6" SANITARY LATERAL	---
PROPOSED BUILDING SEWER	---
PROPOSED STORM SEWER	---
PROPOSED SSANITARY SEWER	---
PROPOSED CURB	---
PROPOSED CONCRETE WALKWAY	---
ADJACENT OWNERS ZONING DISTRICT BOUNDARY LINES	---
EXISTING CONTOUR (MAJOR)	---
EXISTING CONTOUR (MINOR)	---
EXISTING SANITARY SEWER	---
EXISTING STORM SEWER	---
EXISTING EDGE OF ROAD	---
EXISTING RIGHT-OF-WAY	---
EXISTING CENTERLINE	---
EXISTING DRIVES	---
EXISTING EASEMENT	---
EXISTING WOODS	---

EXISTING CONCRETE	---
OVERHEAD WIRES	---
EXISTING LAMP POST	---
EXISTING CLEANOUT	---
EXISTING UTILITY POLE	---
EXISTING MANHOLE	---
EXISTING SIGN	---
IRON PIN FOUND	---
CONC. MONUMENT FOUND	---

WETLANDS	---
WATERS	---
DESIGNATES CHAPTER 105 PERMIT AREAS	---



- ### OFF-SITE UTILITY LINE INSTALLATION
1. THE TOTAL LENGTH OF EXCAVATED TRENCH OPEN AT ANY ONE TIME SHOULD NOT BE GREATER THAN THE TOTAL LENGTH OF UTILITY LINE THAT CAN BE PLACED IN THE TRENCH AND BACK-FILLED IN ONE WORKING DAY.
  2. NO MORE THAN 50 LINEAL FEET OF OPEN TRENCH SHOULD EXIST WHEN UTILITY LINE INSTALLATION CEASES AT THE END OF THE WORKDAY.

### RECYCLING STATEMENT

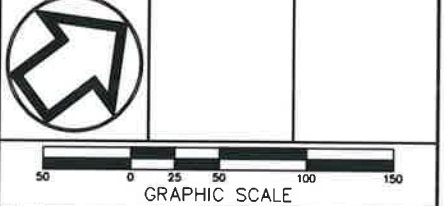
INDIVIDUALS RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES MUST ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. CONSTRUCTION WASTES INCLUDE, BUT ARE NOT LIMITED TO, EXCESS SOIL, MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY. MEASURES SHOULD BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL.

- ### CRITICAL STAGES OF BMP CONSTRUCTION
- THE FOLLOWING STORMWATER MANAGEMENT BMP SHALL HAVE CONSTRUCTION OVERSIGHT:
- SEDIMENT BASIN A
  - BIO-RETENTION W/MRC BASIN A, A1 AND BMP A2, B2
  - INFILTRATION BMP #1
  - CONCRETE CULVERT
  - LANDSCAPE RESTORATION

### SOILS DATA

DATA OBTAINED FROM M.R.C.S. SOIL SURVEY:

ASB - ABBOTTSTOWN SILT LOAM, 3 TO 8 PERCENT SLOPES
PNB - PENN-HUNESVILLE CHANNERY SILT LOAMS, 15 TO 25 PERCENT SLOPES
RHA - REAVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES
RHB - REAVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES
RHC - REAVILLE SILT LOAM, 8 TO 15 PERCENT SLOPES
RL - ROWLAND SILT LOAM, TERRACE
RwB - ROWLAND SILT LOAM, 3 TO 8 PERCENT SLOPES



5 JAC	PER WOOD EMAIL (2/23/2021)	FEB. 24, 2021
3 JAC	PER MCD LTR (1/15/2021)	JAN. 15, 2021
4 JAC	PER VARIOUS REVIEWS	NOV. 30, 2020
3 JAC	PER VARIOUS REVIEWS	AUG. 4, 2020
2 JAC	PER VARIOUS REVIEWS	MAR. 18, 2020
1 JAC	S.T.A. PLAN ORIGINATOR DATE	AUG. 30, 2019

EROSION & SEDIMENT CONTROL PLAN  
OF  
303 & 335 GILBERTSVILLE ROAD  
PREPARED FOR  
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SITE SITUATE IN  
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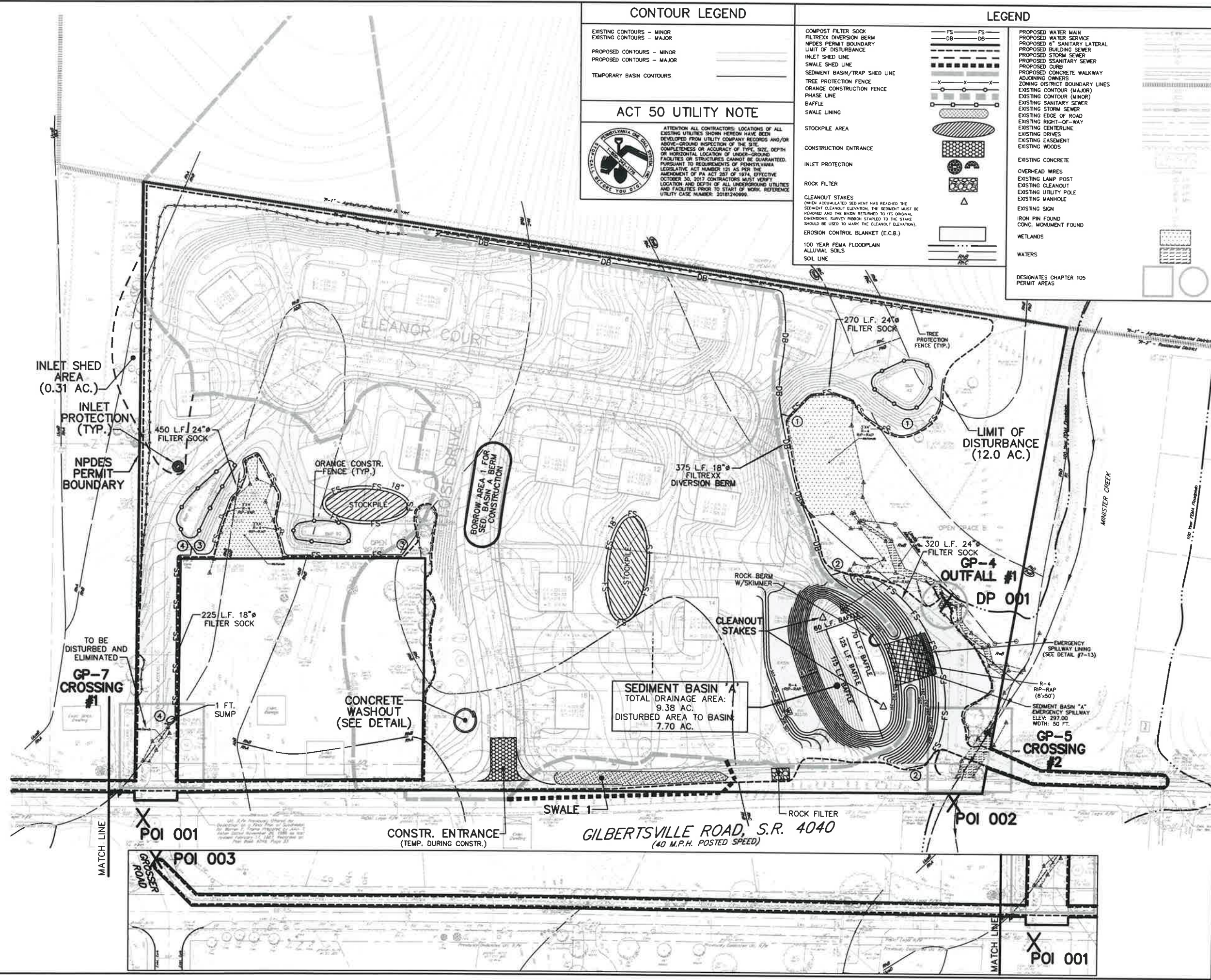
# S T A

Engineering, Inc.

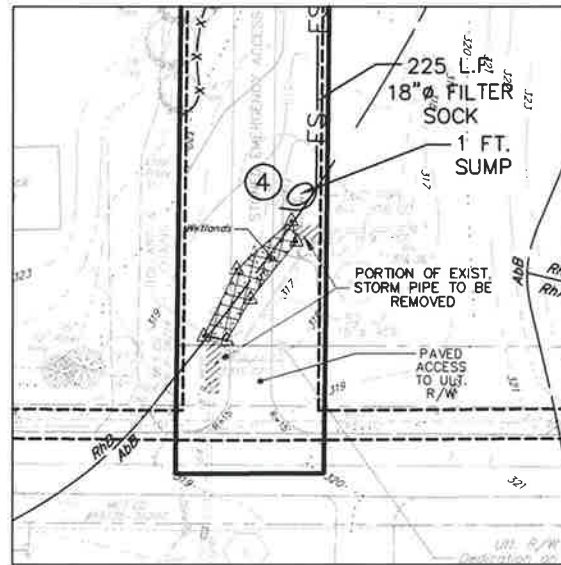
**Civil Engineers - Land Surveyors**

2499 KNIGHT ROAD, PENNSBURG, PA 18073  
MAILING: P.O. BOX 87, RED HILL, PA 18076  
PH: (215) 679-0200; WWW.STOTAC.COM

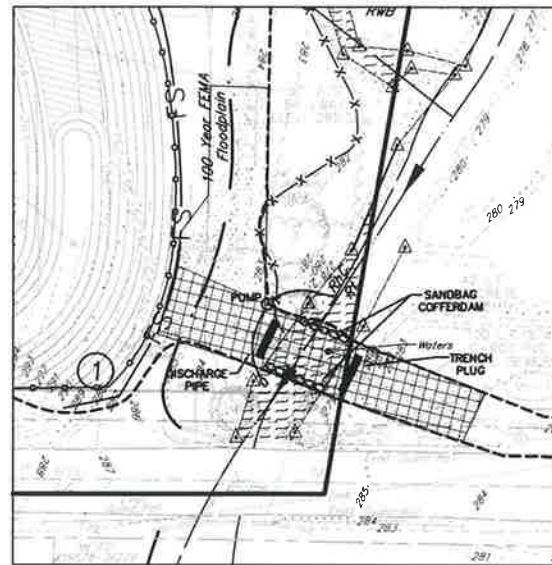
PLAN SCALE:	DRAWN BY:	PROJECT MANAGER:	PLAN SHEET NUMBER:
1"=50'	J.A.C.	M.E.T.	7 OF 24
	PROJECT NUMBER:	DRAWING FILE NUMBER:	
	5686	5686ES	







**CROSSING #1 – PERMANENT CROSSING**  
 PERMANENT CROSSING TO INCLUDE:  
 \* INSTALLATION OF NEW STORM PIPE.  
 \* INSTALLATION OF PAVED EMERGENCY ACCESS.  
 \* INSTALLATION OF 8"Ø WATER MAIN.



**CROSSING #2 – PERMANENT CROSSING**  
 PERMANENT CROSSING TO INCLUDE:  
 \* INSTALLATION OF 8"Ø SAN. SEWER PIPE

**CONSTRUCTION SEQUENCE FOR WATERS CROSSING**

- The construction should be scheduled during low flow seasons and in accordance with Standard Construction Details #13-2 - Typical Utility Line Stream Crossing with Pump Bypass
- Excavation should occur from outside the limits of the water and wetlands whenever possible
- Once installation and backfill of the improvements are completed, restore riparian complex restoration of the disturbed area
- Apply erosion control matting on all disturbed areas within 70 ft. of the water
- Stall in accordance with existing specifications. Apply minor exceptions as the need arises. All PLNs are to establish supporting infrastructure at the location. Apply stream bank matting at the top of 50 ft.

**ACT 50 UTILITY NOTE**

ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 121 AS PER THE AMENDMENT OF PA ACT 287 OF 1974, EFFECTIVE OCTOBER 30, 2017 CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK. REFERENCE UTILITY CASE NUMBER: 20181240009.

**PROVIDE EROSION CONTROL MATTING ON ALL DISTURBED AREAS WITHIN 50 FT. OF STREAMBANK AND WETLANDS.**



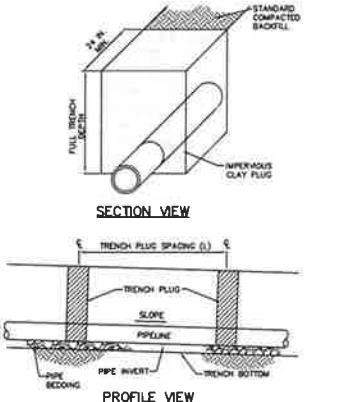
**SITE LOCATION MAP 1"=2000'**

**LEGEND**

- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR (MINOR)
- PROPOSED CONTOUR (MAJOR)
- PROPOSED TREE ROW
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- TEMPORARY E & S CONTOUR
- EXISTING EXISTING SOILS
- EXISTING TREE ROW
- TREE PROTECTION FENCE
- TOPSOIL STOCKPILE AREA
- NPDES PERMIT BOUNDARY
- LIMIT OF DISTURBANCE
- COMPOST FILTER SOCK
- EROSION CONTROL BLANKET
- CHAPTER 105 PERMIT AUTHORIZATION AREA
- STORM SEWER LABEL
- SANITARY SEWER LABEL

**UTILITY LINE INSTALLATION**

- THE TOTAL LENGTH OF EXCAVATED TRENCH OPEN AT ANY ONE TIME SHOULD NOT BE GREATER THAN THE TOTAL LENGTH OF UTILITY LINE THAT CAN BE PLACED IN THE TRENCH AND BACK-FILLED IN ONE WORKING DAY.
- NO MORE THE 50 LINEAL FEET OF OPEN TRENCH SHOULD EXIST WHEN UTILITY LINE INSTALLATION CEASES AT THE END OF THE WORKDAY.

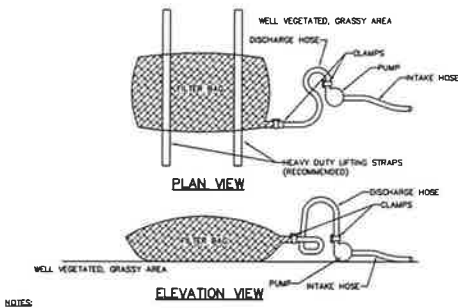


PA DEP EROSION CONTROL MANUAL TABLE 13.1  
**MAXIMUM SPACING AND MATERIALS FOR TRENCH PLUGS**

TRENCH SLOPE (%)	SPACING L (FT)	PLUG MATERIAL
< 5	1000	* CLAY, BENTONITE OR CONCRETE FILLED SANDS
5 - 15	500	* CLAY, BENTONITE OR CONCRETE FILLED SANDS
15 - 25	250	* CLAY, BENTONITE OR CONCRETE FILLED SANDS
25 - 35	150	* CLAY, BENTONITE OR CONCRETE FILLED SANDS
35 - 50	100	* CLAY, BENTONITE OR CONCRETE FILLED SANDS
> 50	50	CEMENT BASE (SETTLED) OR WETLINED STONE

NOTES:  
 \* TOPSOIL MAY NOT BE USED TO FILL SACKS  
 IMPERVIOUS TRENCH PLUGS ARE REQUIRED FOR ALL STREAM, RIVER, WETLAND, OR OTHER WATER BODY CROSSINGS.

**STANDARD CONSTRUCTION DETAIL #13-4 TRENCH PLUG INSTALLATION**  
 NOT TO SCALE



**NOTES:**  
 LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "Z" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. HEAVY WEIGHT STRENGTH	ASTM D-4884	60 LB/FT
GRAB TENSILE	ASTM D-4832	200 LB
PUNCTURE	ASTM D-4833	110 LB
WALLEN BURN TEST	ASTM D-2156	2500 PSI
UV RESISTANCE	ASTM D-4355	70%
AGE 9 RETAINED	ASTM D-4391	80 SEIVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STRIPS TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5% CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

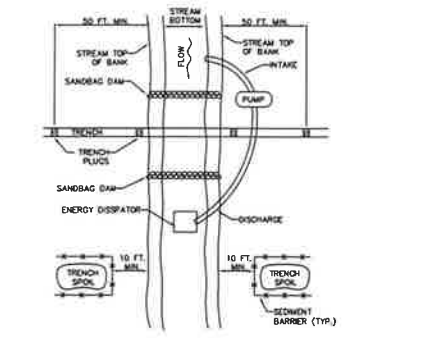
NO DOWNDROPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HO OR LV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

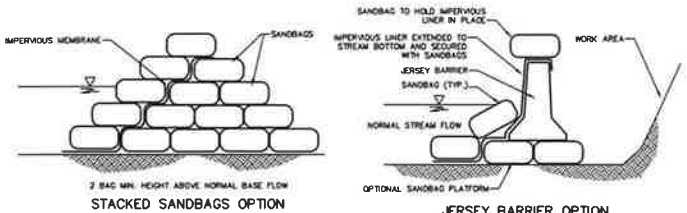
FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

**STANDARD CONSTRUCTION DETAIL #3-16 PUMPED WATER FILTER BAG**  
 NOT TO SCALE



**NOTES:**  
 GRABBING SHALL NOT TAKE PLACE WITHIN 50 FEET OF TOP-OF-BANK UNTIL ALL MATERIALS REQUIRED TO COMPLETE CROSSING ARE ON SITE AND PIPE IS READY FOR INSTALLATION.  
 BYPASS PUMP INTAKE SHALL BE MAINTAINED A SUFFICIENT DISTANCE FROM THE BOTTOM TO PREVENT PUMPING OF CHANNEL BOTTOM MATERIALS.  
 TRENCH PLUGS SHALL BE INSTALLED WITHIN THE TRENCH ON BOTH SIDES OF THE STREAM CHANNEL. (STANDARD CONSTRUCTION DETAIL #13-4)  
 WATER ACCUMULATING WITHIN THE WORK AREA SHALL BE PUMPED TO A PUMPED WATER FILTER BAG OR SEDIMENT TRAP PRIOR TO DISCHARGING INTO ANY SURFACE WATER.  
 HAZARDOUS OR POLLUTANT MATERIAL STORAGE AREAS SHALL BE LOCATED AT LEAST 100 FEET BACK FROM THE TOP OF STREAMBANK.  
 ALL EXCESS EXCAVATED MATERIAL SHALL BE IMMEDIATELY REMOVED FROM THE STREAM CROSSING AREA.  
 ALL DISTURBED AREAS WITHIN 50 FEET OF TOP-OF-BANK SHALL BE BLANKETED OR MATTED WITHIN 24 HOURS OF INITIAL DISTURBANCE. FOR MINOR STREAMS OR 48 HOURS OF INITIAL DISTURBANCE FOR MAJOR STREAMS UNLESS OTHERWISE AUTHORIZED.  
 APPROPRIATE STREAMBANK PROTECTION SHALL BE PROVIDED WITHIN THE CHANNEL.

**STANDARD CONSTRUCTION DETAIL #13-2 TYPICAL UTILITY LINE STREAM CROSSING WITH PUMP BYPASS**  
 NOT TO SCALE



**STANDARD CONSTRUCTION DETAIL #3-15 SANDBAG DIVERSION DAM OR COFFERDAM**  
 NOT TO SCALE



**GRAPHIC SCALE**

0 20 40 60 80 100 120

REV	DATE	DESCRIPTION	BY
8	JAN. 24, 2021	PER MOED EMAIL (1/23/2021)	JAC
5	JAN. 15, 2021	PER MOED LTR (1/13/2021)	JAC
4	NOV. 30, 2020	PER VARIOUS REVIEWS	JAC
3	AUG. 4, 2020	PER VARIOUS REVIEWS	JAC
2	MAR. 18, 2020	PER VARIOUS REVIEWS	JAC
1	AUG. 30, 2019	S.T.A. PLAN ORIGINATOR DATE	JAC

**EROSION & SEDIMENT CONTROL PLAN**  
 CHAPTER 105 PERMIT AREAS  
 OF  
**303 & 335 GILBERTSVILLE ROAD**  
 PREPARED FOR  
**WEXFORD COURT, LLC.**  
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 PH: (215) 679-0200; www.statac.com

PLAN SCALE	DRAWN BY	PROJECT MANAGER	PLAN SHEET NUMBER
1"=30'	J.A.C.	M.E.T.	8 OF 24
	PROJECT NUMBER	DRAWING FILE NUMBER	
	5686	5686ES-GP	

E&S NOTES

- 1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN...

- 27. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL COVER OF VEGETATION OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION...

- 28. E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT...

CONSTRUCTION SEQUENCE

- 1. At least 7 days prior to starting any earth disturbance activities (including clearing and grubbing) the owner and/or operator shall invite all contractors, the landowner, appropriate municipal officials, the E&S plan preparer, the PCSM plan preparer, the designated licensed professional and a representative from the Montgomery County Conservation District to an on-site pre-construction meeting...

NOTE: SEDIMENT BASIN MUST BE COMPLETELY STABILIZED PRIOR TO ANY EARTH DISTURBANCE OF THE RESPECTIVE TRIBUTARY DRAINAGE AREA.

- 12. Strip topsoil in Eleanor Court from the intersection with Eloise Drive to the upstream cul-de-sac at Lot 4. Stockpile and stabilize topsoil. Rough grade this portion of Eleanor Drive to ensure runoff reaches the sediment basin.

LIMITATIONS OF PENNSYLVANIA SOILS PERTAINING TO EARTHMOVING PROJECTS (Absence of an X does not mean "No Potential Limitation")

Table with columns for Soil Name, Soil Symbol, Depth to Seasonal High Water Table, Depth to Bedrock, Reaction (pH), Outcrops of Bedrock, etc.

RESOLUTION OF SOIL TYPE LIMITATIONS

- 1. APPROPRIATE PRECAUTIONS SHOULD BE TAKEN TO SAFEGUARD WORKERS DURING ALL TRENCHING AND EXCAVATION OPERATIONS. ALL APPLICABLE OSHA STANDARDS AND REGULATIONS MUST BE IMPLEMENTED AT ALL TIMES.

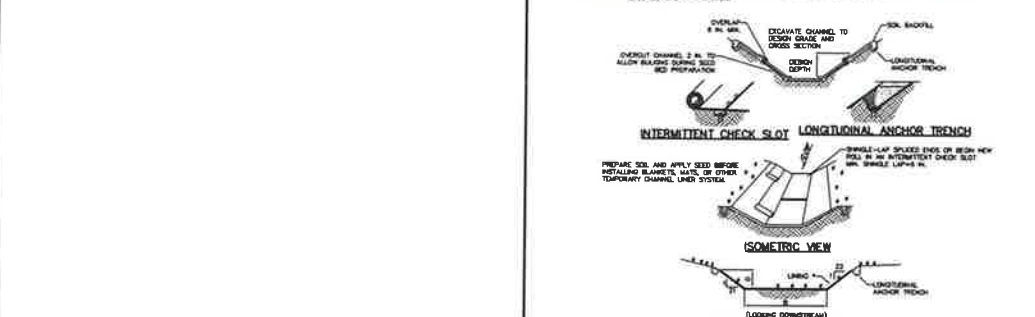
SEEDING SPECIFICATIONS TABLE with columns for MATURE NUMBER, SPECIES, SEEDING RATE-PURE LIVE SEED (PLS), etc.

\* PLS IS THE PRODUCT OF THE PERCENTAGE OF PURE SEED TIMES PERCENTAGE GERMINATION DIVIDED BY THE 100. TO DETERMINE THE ACTUAL PLANTING RATE FOR PERENNIALS, DIVIDE THE PERCENTAGE SHOWN ON THE SEED TAG BY THE PERCENTAGE OF A SEED THAT WILL GROW UNDER THE BEST OF CULTURAL CONDITIONS.

TABLE 11.2 SOIL AMENDMENT APPLICATION RATE EQUIVALENT TABLE with columns for SOIL AMENDMENT, PERIODIC SOIL TESTS, etc.

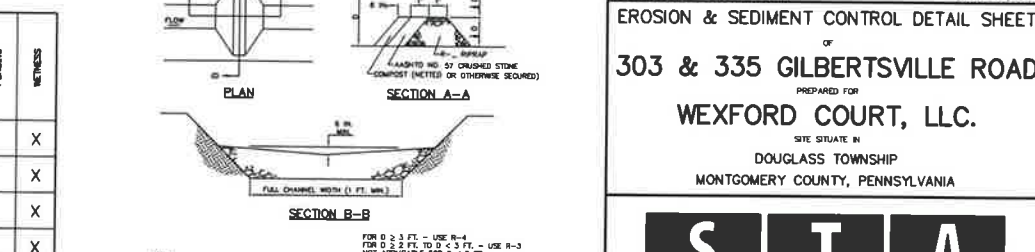
TABLE 11.3 MULCH APPLICATION RATES TABLE with columns for MULCH TYPE, APPLICATION RATE, etc.

1. STRAW AND HAY MULCH SHOULD BE APPLIED OR TRACKED IMMEDIATELY AFTER APPLICATION TO PREVENT BIRD FEEDING. A MULCH-BARRIER APPLICATION MAY BE USED TO PREVENT BIRD FEEDING OF SEEDS...

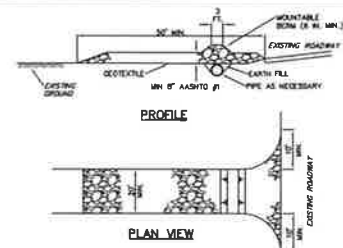


PREPARE SOIL AND APPLY SEED BEFORE CHANNELS ARE COVERED. CHANNELS SHOULD BE COVERED IMMEDIATELY AFTER SEEDING TO PREVENT BIRD FEEDING AND TO MAINTAIN SOIL MOISTURE.

Channel Construction Detail #6-1 Vegetated Channel table with columns for Station, Depth, etc.

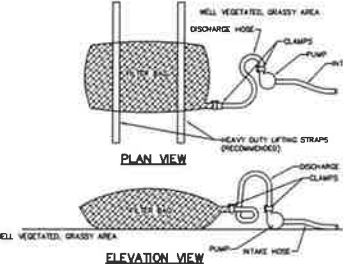


EROSION & SEDIMENT CONTROL DETAIL SHEET #303 & 335 GILBERTVILLE ROAD OF WEXFORD COURT, LLC. Includes project information and Stotac Engineering logo.



NOTES: MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE OVER FULL WIDTH OF ENTRANCE. REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

STANDARD CONSTRUCTION DETAIL #3-1  
ROCK CONSTRUCTION ENTRANCE  
NOT TO SCALE

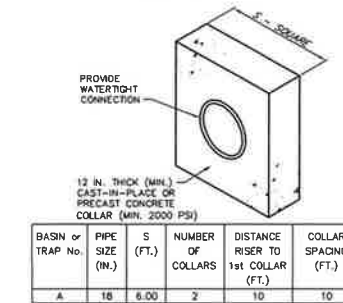


NOTES: LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIALS WITH LOW STRENGTH DOUBLE STITCHED 7" TUBES. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 120 MICRONS HIGH VOLUME FILTER BAGS SHALL BE MADE FROM NON-GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

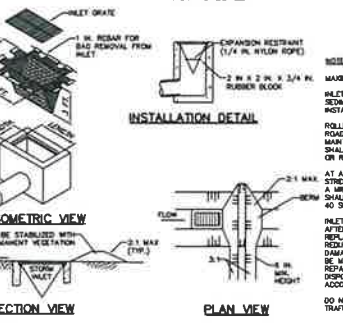
Table with columns: PROPERTY, TEST METHOD, MINIMUM STANDARDS. Rows include: AISC ROCK NETTING STRENGTH, GROSS TENSILE, PUNCTURE, MAXIMUM BURST, UV RESISTANCE, and AISC 8' BENCH MARK.

A SUITABLE MEANS OF ACCESSING THE BAG WITH MAJORITIES REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED AS NEEDED. 1/2" FULL OF SEDIMENT SHOWN BAGS SHALL BE LEFT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FULL. BAGS SHALL BE PLACED IN STRIPS TO FACILITATE REMOVAL. BAGS COME WITH LIFTING STRIPS ALREADY ATTACHED.

STANDARD CONSTRUCTION DETAIL #3-16  
PUMPED WATER FILTER BAG  
NOT TO SCALE



NOTES: ALL COLLARS SHALL BE INSTALLED SO AS TO BE WATER-TIGHT. COLLAR SIZE AND SPACING SHALL BE AS INDICATED WITHIN TABLE. STANDARD CONSTRUCTION DETAIL #7-16 CONCRETE ANTI-SEEP COLLAR FOR PERMANENT BASINS OR TRAPS



STANDARD CONSTRUCTION DETAIL #4-16  
FILTER BAG INLET PROTECTION - TYPE M INLET  
NOT TO SCALE

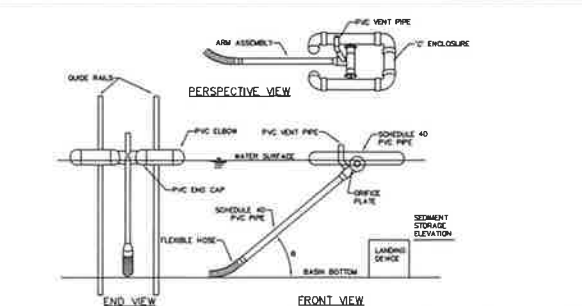


Table with columns: BASIN NO., WATER SURFACE ELEVATION (FT), SWIM-ARM LENGTH (IN), ARM DIA. (IN), ARM DIA. (IN), ORIFICE DIA. (IN), ORIFICE HEAD (IN), TOP OF LANDING DECK ELEVATION (FT), NOSE DIA. (IN), FLEXIBLE HOSE LENGTH (IN), FLEXIBLE HOSE ATTACHMENT ELEVATION (FT), NOSE DIA. (IN).

NOTES: SKIMMER SHALL BE MANUFACTURED BY: J.B. FARMINGTON & SON, P.O. BOX 757, HELLS BOROUGHS, NC 27726-0757, PH: (810) 732-1244. SKIMMER DIA. MUST BE EQUAL TO OR LESS THAN ARM DIA.

STANDARD CONSTRUCTION DETAIL #7-3  
SEDIMENT BASIN EMERGENCY SPILLWAY WITH TRM LINING  
NOT TO SCALE

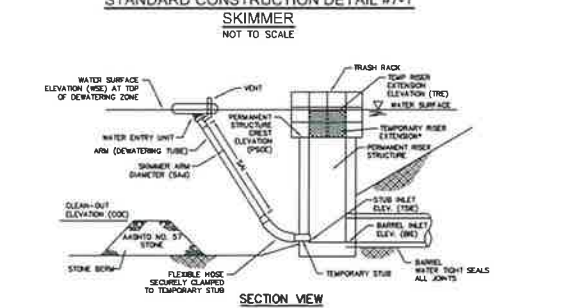
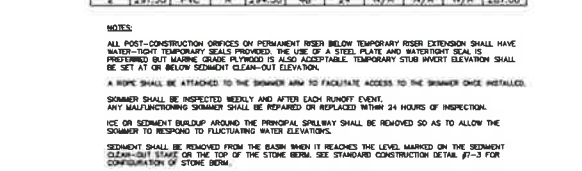
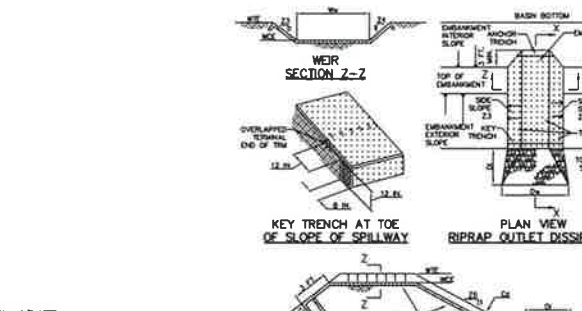


Table with columns: BASIN NO., WATER SURFACE ELEVATION (FT), DIA. (IN), ORIFICE DIA. (IN), ORIFICE HEAD (FT), MATL., DIA. (IN), LENGTH (FT), DIA. (IN), LENGTH (IN), DIA. (IN), LENGTH (IN), MATL.

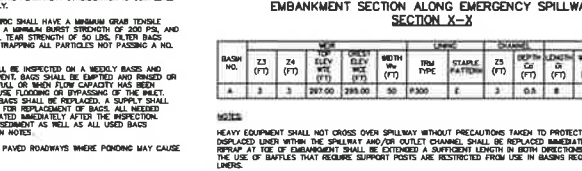
NOTES: SEDIMENT SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST FILTER SOCK SHALL BE PLACED AT A SLOPE OF AT LEAST 2% TO THE DOWNSTREAM SIDE.



STANDARD CONSTRUCTION DETAIL #7-5  
TYPICAL ON-LOT BMPs FOR LOT ABOVE ROADWAY  
NOT TO SCALE



STANDARD CONSTRUCTION DETAIL #7-6  
TYPICAL ON-LOT BMPs FOR LOT BELOW ROADWAY  
NOT TO SCALE



STANDARD CONSTRUCTION DETAIL #7-7  
TYPICAL ON-LOT BMPs FOR LOT ALONG ASCENDING OR DESCENDING ROADWAY  
NOT TO SCALE

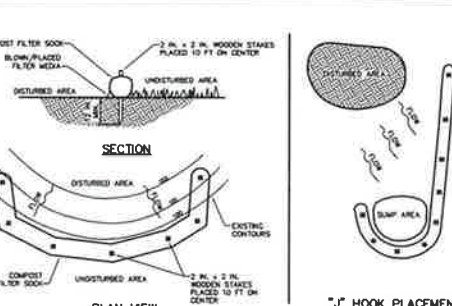
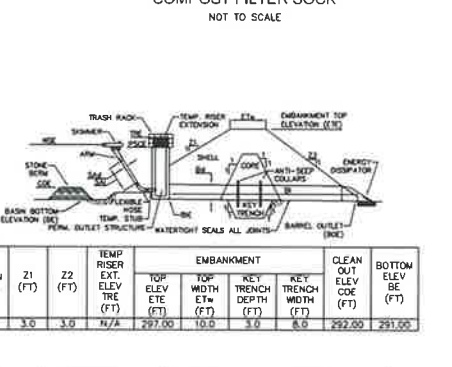
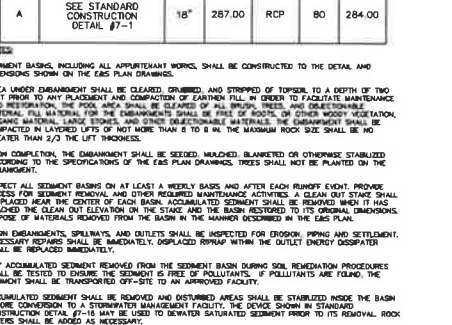


Table with columns: BASIN OR TRAP NO., BAFFLE LENGTH-HEIGHT (FT), TEMPORARY RISER DIA. (IN), CREST ELEV. (FT), BOTTOM ELEV. (FT).

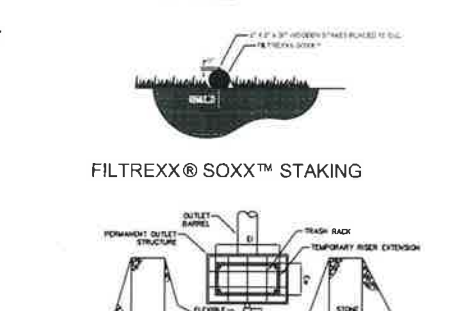
STANDARD CONSTRUCTION DETAIL #7-8  
SILT SOCK CONCRETE WASHOUT  
NOT TO SCALE



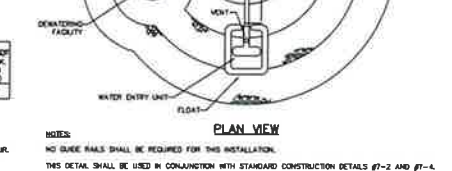
STANDARD CONSTRUCTION DETAIL #11-1  
EROSION CONTROL BLANKET INSTALLATION  
NOT TO SCALE



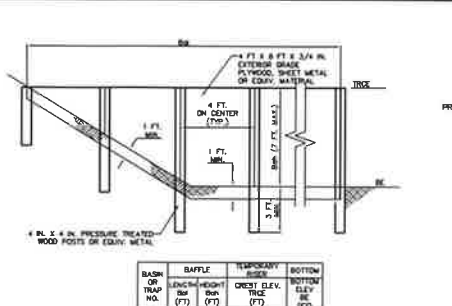
STANDARD CONSTRUCTION DETAIL #11-2  
FILTER FENCE/COMPOST SOCK BARRIER/SEDIMENT FILTER LOG  
NOT TO SCALE



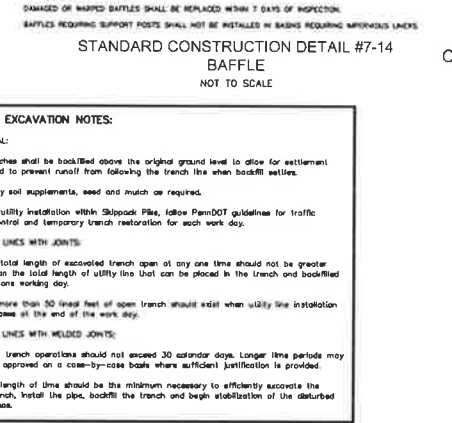
STANDARD CONSTRUCTION DETAIL #11-3  
TYPICAL ON-LOT BMPs FOR LOT ALONG ASCENDING OR DESCENDING ROADWAY  
NOT TO SCALE



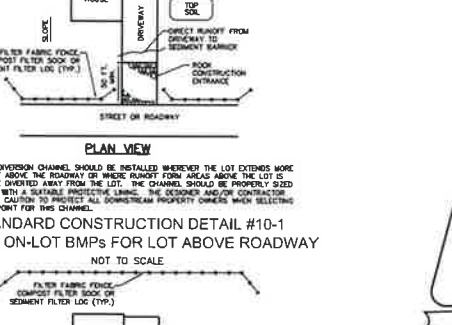
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EROSION CONTROL BLANKET INSTALLATION  
NOT TO SCALE



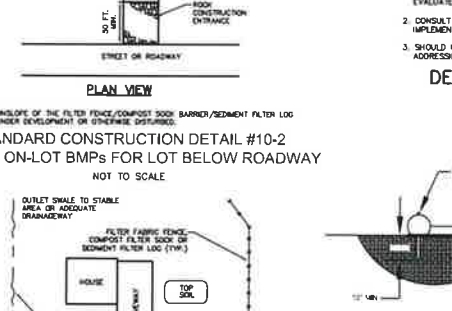
STANDARD CONSTRUCTION DETAIL #11-5  
EROSION CONTROL BLANKET INSTALLATION  
NOT TO SCALE



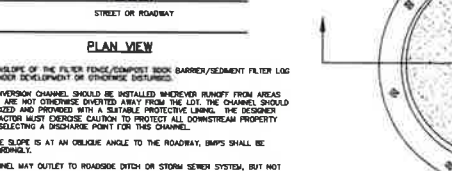
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EROSION CONTROL BLANKET INSTALLATION  
NOT TO SCALE



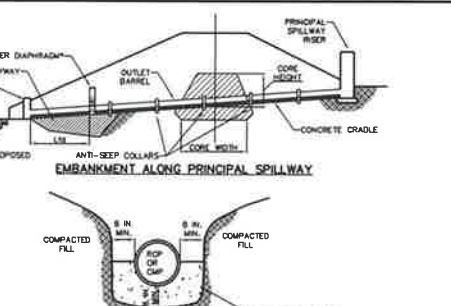
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EROSION CONTROL BLANKET INSTALLATION  
NOT TO SCALE



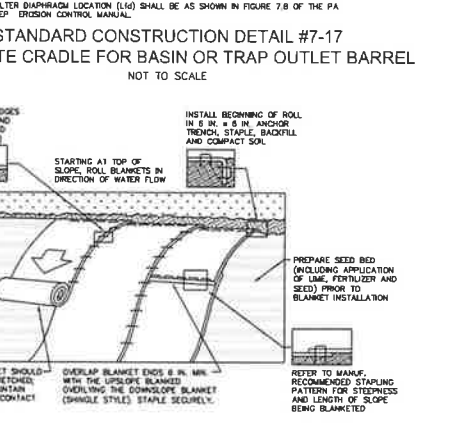
STANDARD CONSTRUCTION DETAIL #11-8  
EROSION CONTROL BLANKET INSTALLATION  
NOT TO SCALE



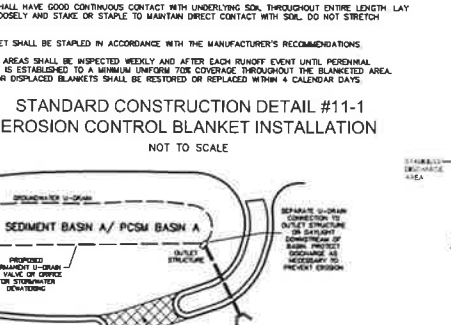
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NOT TO SCALE



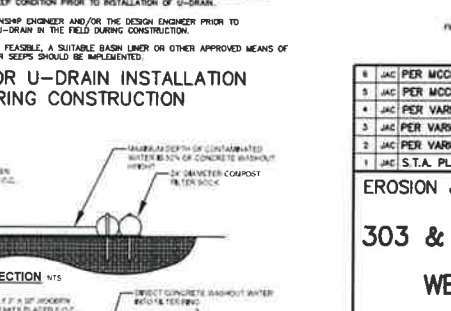
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NOT TO SCALE



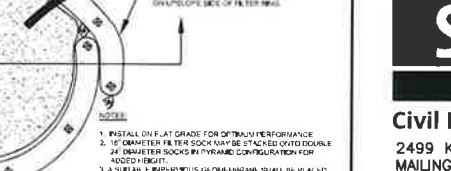
STANDARD CONSTRUCTION DETAIL #11-11  
EROSION CONTROL BLANKET INSTALLATION  
NOT TO SCALE



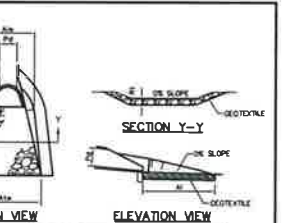
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EROSION CONTROL BLANKET INSTALLATION  
NOT TO SCALE



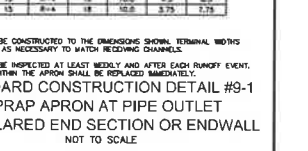
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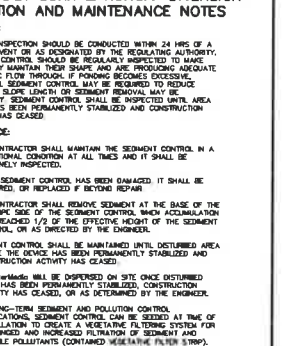
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EROSION CONTROL BLANKET INSTALLATION  
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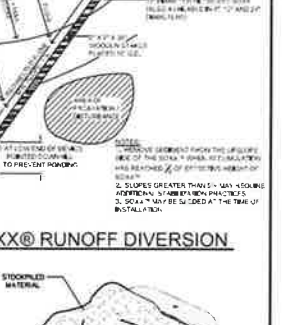
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EROSION CONTROL BLANKET INSTALLATION  
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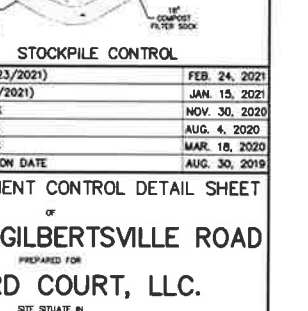
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EROSION CONTROL BLANKET INSTALLATION  
NOT TO SCALE



STANDARD CONSTRUCTION DETAIL #11-17  
EROSION CONTROL BLANKET INSTALLATION  
NOT TO SCALE



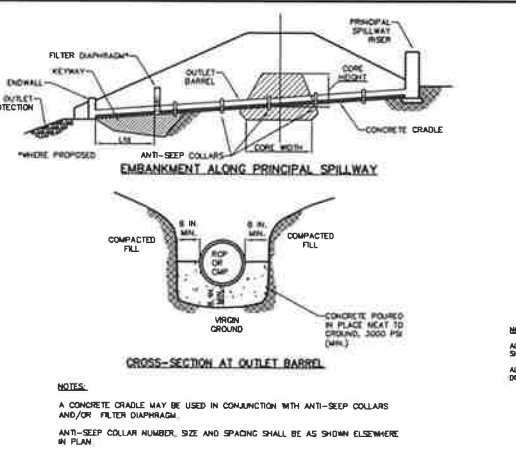
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EROSION CONTROL BLANKET INSTALLATION  
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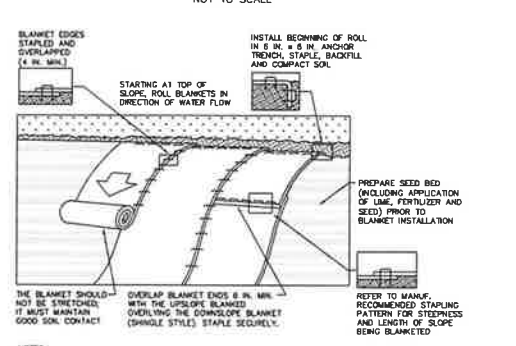
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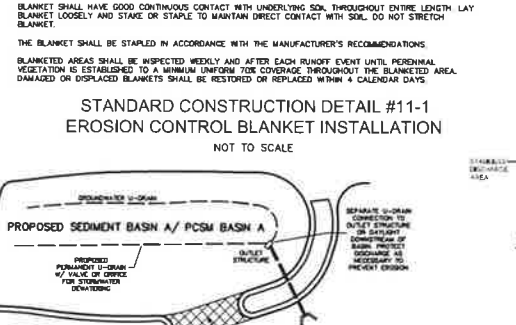
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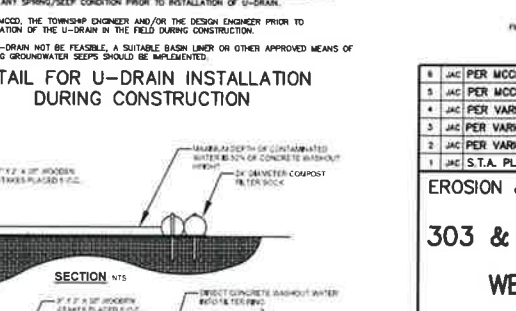
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EROSION CONTROL BLANKET INSTALLATION  
NOT TO SCALE



STANDARD CONSTRUCTION DETAIL #11-22  
EROSION CONTROL BLANKET INSTALLATION  
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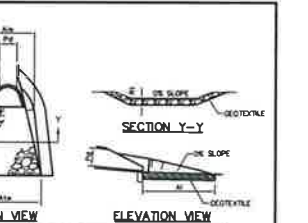
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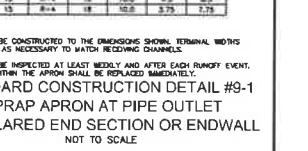
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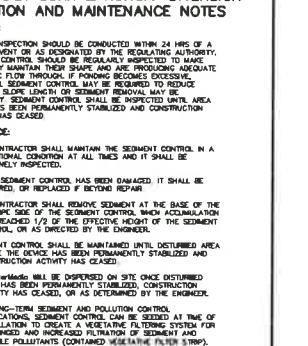
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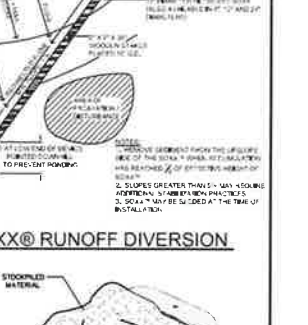
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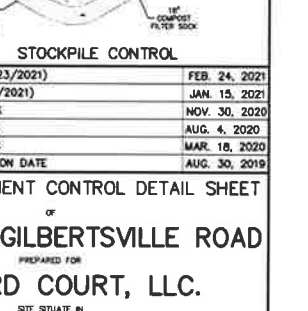
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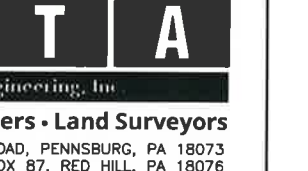
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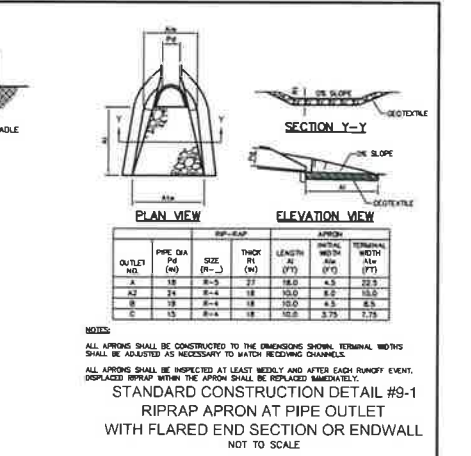
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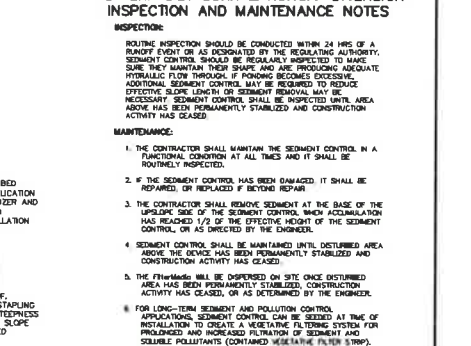
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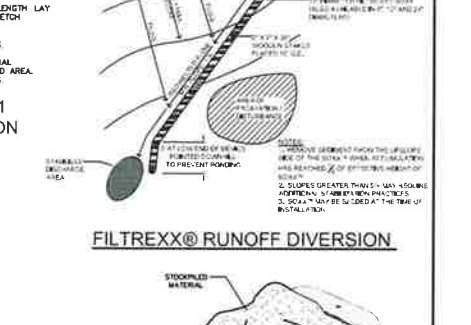
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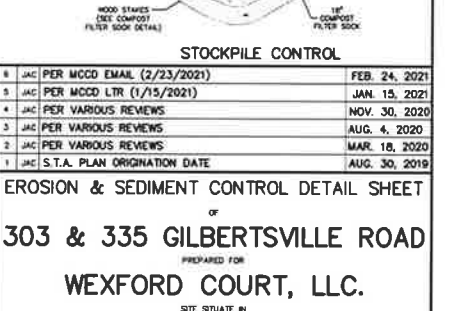
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STANDARD CONSTRUCTION DETAIL #11-33  
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NOT TO SCALE



STANDARD CONSTRUCTION DETAIL #11-34  
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NOT TO SCALE



STANDARD CONSTRUCTION DETAIL #11-35  
EROSION CONTROL BLANKET INSTALLATION  
NOT TO SCALE



STANDARD CONSTRUCTION DETAIL #11-36  
EROSION CONTROL BLANKET INSTALLATION  
NOT TO SCALE

STOCKPILE CONTROL table with columns: NO., DATE, DESCRIPTION, STATUS. Includes company logo for STATA Engineering, Inc. and contact information for Civil Engineers - Land Surveyors. Address: 2499 KNIGHT ROAD, PENNSBURG, PA 18073. Mailing: P.O. BOX 87, RED HILL, PA 18076. Phone: (215) 679-0200; www.stotac.com.

SEE PCSM LANDSCAPE PLAN SHEET 13 & PCSM LANDSCAPE DETAIL SHEET 14 FOR BMP 6.7.2/5.6.3 PART 2 LANDSCAPE RESTORATION BMP ID #5 AND FOR BASIN SEED MIX DETAILS

### SOILS DATA

DATA OBTAINED FROM N.R.C.S. SOIL SURVEY.

AND - ABBOTTSTOWN SILT LOAM, 3 TO 8 PERCENT SLOPES.  
 PND - PENN-KUNESVILLE CHANNERY SILT LOAMS, 15 TO 25 PERCENT SLOPES.  
 RHA - REAVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES.  
 RHB - REAVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES.  
 RHC - REAVILLE SILT LOAM, 8 TO 15 PERCENT SLOPES.  
 RI - ROWLAND SILT LOAM, TERRACE.  
 RWB - ROWLAND SILT LOAM, 3 TO 8 PERCENT SLOPES.

### ACT 50 UTILITY NOTE

ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREIN HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 121 AS PER THE AMENDMENT OF PA. ACT 287 OF 1974, EFFECTIVE OCTOBER 30, 2017. CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK. REFERENCE UTILITY CASE NUMBER: 20181240099.

### LEGEND

LIMIT OF DISTURBANCE  
 NPDES PERMIT BOUNDARY  
 POINT OF INFLUENCE  
 BASIN SHED BOUNDARY  
 STORMWATER MANAGEMENT AREA  
 STORMWATER TEST PIT

AMENDED SOILS/ERHWK-180 (OR EQUAL) SEE SHEET 13 FOR LOCATION  
 BASIN SIDE SLOPE/ERHWK-181 (OR EQUAL) SEE SHEET 13 FOR LOCATION

ROOFTOP DISCONNECTION  
 PROTECT EXISTING TREES

ACTIVITY REGULATED UNDER CHAPTER 105

TEST PIT INFILTRATION DATA

TEST PIT NO.	AVERAGE INFILTRATION RATE (in/hr)	INFILTRATION ELEVATION (feet)
1	1.25	324.5
2	0.75	324.5
10	2.38	301.3
11	0.125	298.0
13A	0.63	312.2
17	0.008	290.0

PROPOSED TREE PROTECTION FENCE  
 PROPOSED WATER SERVICE  
 PROPOSED SANITARY LATERAL  
 PROPOSED STORM SEWER  
 PROPOSED SANITARY SEWER  
 PROPOSED TREE ROW  
 PROPOSED CURB  
 PROPOSED EDGE OF ROAD  
 PROPOSED EASEMENT  
 PROPOSED RIGHT-OF-WAY  
 PROPOSED CENTERLINE  
 PROPOSED CONCRETE WALKWAY  
 PROPOSED CONTOUR (MAJOR)  
 PROPOSED CONTOUR (MINOR)  
 PROPOSED IRON PIN  
 PROPOSED CONCRETE MONUMENT  
 ADJOINING OWNERS  
 SETBACK LINES  
 ZONING DISTRICT BOUNDARY LINES  
 EXISTING CONTOUR (MAJOR)  
 EXISTING CONTOUR (MINOR)  
 EXISTING SANITARY SEWER  
 EXISTING STORM SEWER  
 EXISTING EDGE OF ROAD  
 EXISTING RIGHT-OF-WAY  
 EXISTING CENTERLINE  
 EXISTING DRIVE  
 EXISTING EASEMENT  
 EXISTING WOODS  
 100 YEAR FEMA FLOODPLAIN  
 ALLUVIAL SOILS  
 SOIL LINE

EXISTING CONCRETE  
 OVERHEAD WIRES  
 EXISTING LAMP POST  
 EXISTING CLEANOUT  
 EXISTING UTILITY POLE  
 EXISTING MANHOLE  
 EXISTING SIGN  
 IRON PIN FOUND  
 CONC. MONUMENT FOUND

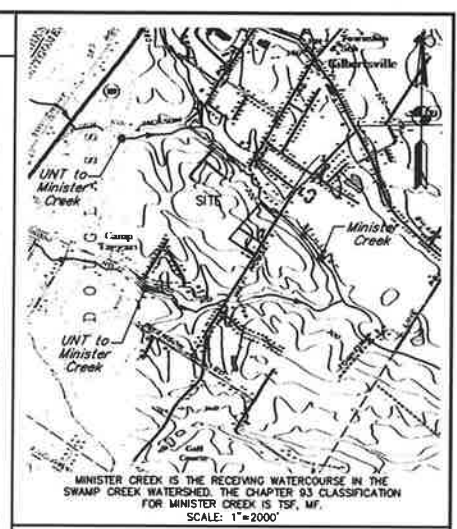
WETLANDS  
 WATERS

### NOTES

#### CRITICAL STAGES OF BMP CONSTRUCTION

THE FOLLOWING STORMWATER MANAGEMENT BMP SHALL HAVE CONSTRUCTION OVERSIGHT:

- BIO-RETENTION W/MRC BASIN A, A1 AND BMP A2, B2
- CONCRETE CRADLE
- LANDSCAPE RESTORATION



### ENGINEER CERTIFICATION

I, SUSAN A. RICE, P.E., ON THIS DATE \_\_\_\_\_ HEREBY CERTIFY THAT THE DRAINAGE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE DOUGLASS TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

SUSAN A. RICE, P.E.

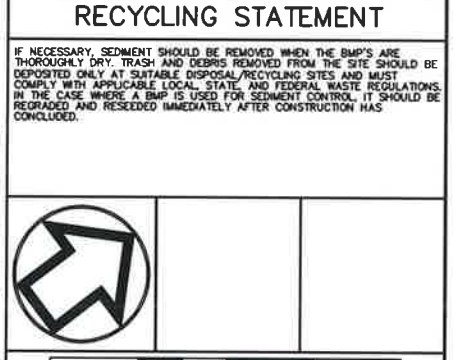
### STORMWATER STATEMENT

ANY REVISION TO THE APPROVED POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN MUST BE APPROVED BY DOUGLASS TOWNSHIP AND THE MONTGOMERY COUNTY CONSERVATION DISTRICT AND/OR DEP (IF GREATER THAN 1 ACRE OF LAND DISTURBANCE). A REVISED EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE MONTGOMERY COUNTY CONSERVATION DISTRICT FOR A DETERMINATION OF ADEQUACY.

APPLICANT SIGNATURE \_\_\_\_\_

### RECYCLING STATEMENT

IF NECESSARY, SEDIMENT SHOULD BE REMOVED WHEN THE BMP'S ARE THOROUGHLY DRY. TRASH AND DEBRIS REMOVED FROM THE SITE SHOULD BE DEPOSITED ONLY AT SUITABLE DISPOSAL/RECYCLING SITES AND MUST COMPLY WITH APPLICABLE LOCAL, STATE, AND FEDERAL WASTE REGULATIONS. IN THE CASE WHERE A BMP IS USED FOR SEDIMENT CONTROL, IT SHOULD BE DEGRADED AND RESEEDED IMMEDIATELY AFTER CONSTRUCTION HAS CONCLUDED.

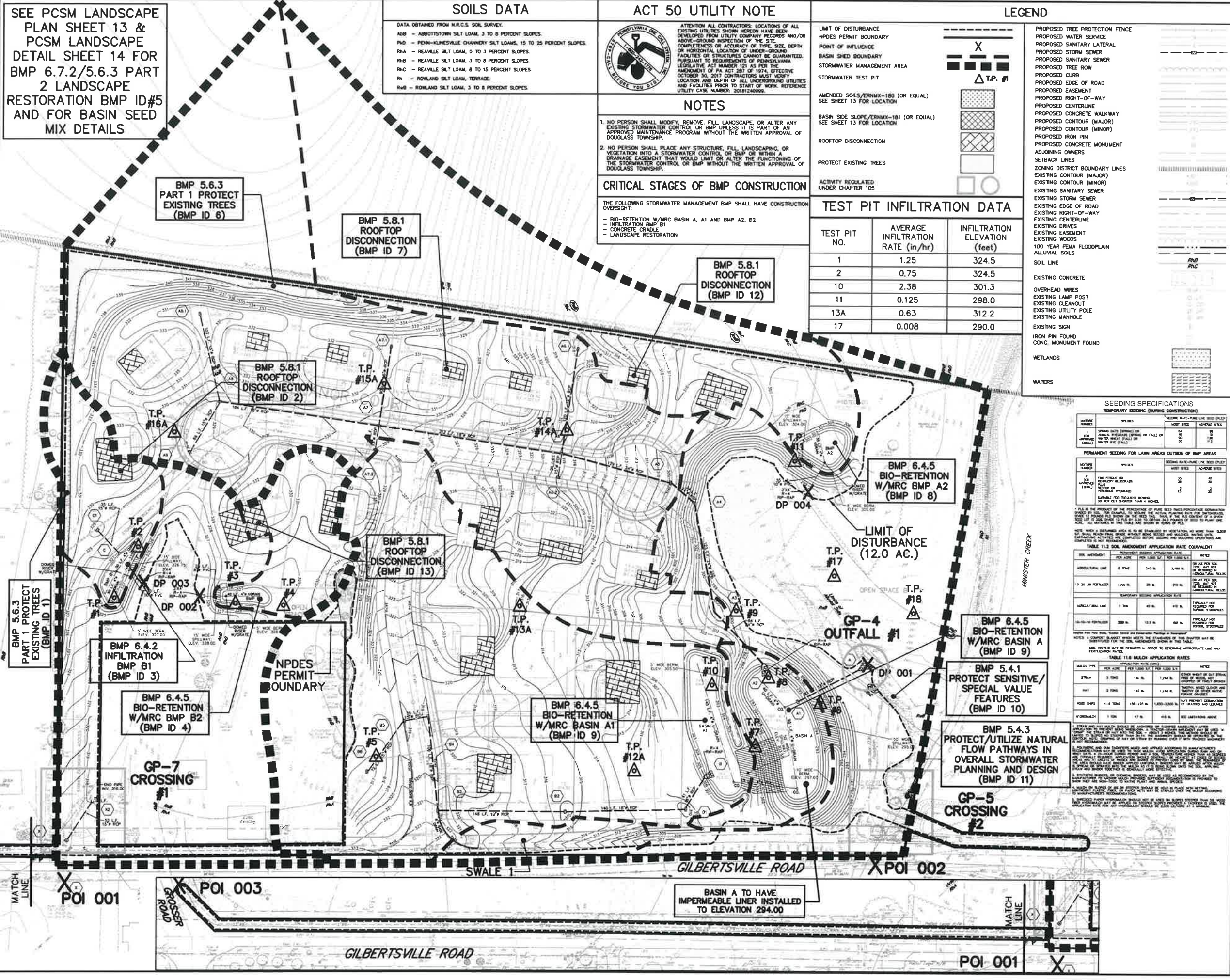


NO.	DATE	DESCRIPTION	BY
5	JAN 24, 2021	FOR WOOD EMAIL (2/23/2021)	J.A.C.
4	JAN 15, 2021	FOR WOOD LTR (1/19/2021)	J.A.C.
3	NOV. 30, 2020	PER VARIOUS REVIEWS	J.A.C.
2	AUG. 4, 2020	PER VARIOUS REVIEWS	J.A.C.
1	MAR. 18, 2020	PER VARIOUS REVIEWS	J.A.C.
0	AUG. 30, 2019	S.T.A. PLAN ORIGIN DATE	J.A.C.

PCSM PLAN  
 OF  
**303 & 335 GILBERTSVILLE ROAD**  
 PREPARED FOR  
**WEXFORD COURT, LLC.**  
 SITE SITUATE IN  
 DOUGLASS TOWNSHIP  
 MONTGOMERY COUNTY, PENNSYLVANIA

**S T A**  
 Engineering, Inc.  
 Civil Engineers • Land Surveyors  
 2499 KNIGHT ROAD, PENNSBURG, PA 18073  
 MAILING: P.O. BOX 87, RED HILL, PA 18076  
 PH: (215) 679-0200; www.stotac.com

PLAN SCALE	DRAFTED BY	PROJECT MANAGER	PLAN SHEET NUMBER
1"=50'	J.A.C.	M.E.T.	11 OF 24
	5686	5686PCSM	



# POST CONSTRUCTION STORMWATER MANAGEMENT OPERATION AND MAINTENANCE NOTES

### EMPLOYER'S RESPONSIBILITIES

1. Employer shall be responsible for the post construction stormwater management program (PCSM) and shall ensure that the PCSM is properly installed, maintained, and inspected. The PCSM shall be inspected by the Montgomery County Conservation District, Inc. (MCCDI) to ensure that the PCSM is properly installed, maintained, and inspected.

### GENERAL BMP OPERATION, MAINTENANCE AND INSPECTION NOTES

1. The PCSM shall be inspected by the MCCDI on a regular basis. The PCSM shall be inspected by the MCCDI on a regular basis. The PCSM shall be inspected by the MCCDI on a regular basis.

### GENERAL BMP OPERATION, MAINTENANCE AND INSPECTION NOTES (Continued)

1. The PCSM shall be inspected by the MCCDI on a regular basis. The PCSM shall be inspected by the MCCDI on a regular basis. The PCSM shall be inspected by the MCCDI on a regular basis.

### GENERAL BMP OPERATION, MAINTENANCE AND INSPECTION NOTES (Continued)

1. The PCSM shall be inspected by the MCCDI on a regular basis. The PCSM shall be inspected by the MCCDI on a regular basis. The PCSM shall be inspected by the MCCDI on a regular basis.

### GENERAL BMP OPERATION, MAINTENANCE AND INSPECTION NOTES (Continued)

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### GENERAL BMP OPERATION, MAINTENANCE AND INSPECTION NOTES (Continued)

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### GENERAL BMP OPERATION, MAINTENANCE AND INSPECTION NOTES (Continued)

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### GENERAL BMP OPERATION, MAINTENANCE AND INSPECTION NOTES (Continued)

1. The PCSM shall be inspected by the MCCDI on a regular basis. The PCSM shall be inspected by the MCCDI on a regular basis. The PCSM shall be inspected by the MCCDI on a regular basis.

### GENERAL BMP OPERATION, MAINTENANCE AND INSPECTION NOTES (Continued)

1. The PCSM shall be inspected by the MCCDI on a regular basis. The PCSM shall be inspected by the MCCDI on a regular basis. The PCSM shall be inspected by the MCCDI on a regular basis.

# SITE SPECIFIC CONSTRUCTION SEQUENCE

1. At least 7 days prior to starting any earth disturbance activities (including clearing and grubbing), the site owner or preparer shall notify the local authority (the preparer or the local authority) of the site's proposed PCSM plan. The PCSM plan shall be approved by the local authority before any earth disturbance activities begin.

2. All earth disturbance activities shall proceed in accordance with the PCSM plan. Each step of the PCSM plan shall be approved by the local authority before any earth disturbance activities begin.

3. All earth disturbance activities shall proceed in accordance with the PCSM plan. Each step of the PCSM plan shall be approved by the local authority before any earth disturbance activities begin.

4. All earth disturbance activities shall proceed in accordance with the PCSM plan. Each step of the PCSM plan shall be approved by the local authority before any earth disturbance activities begin.

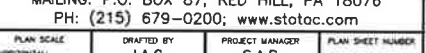
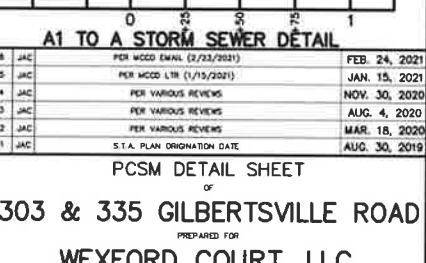
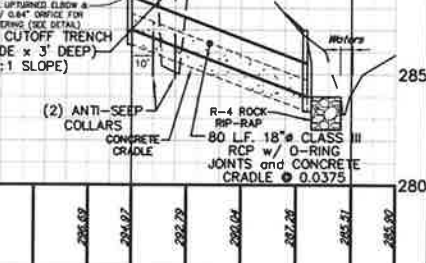
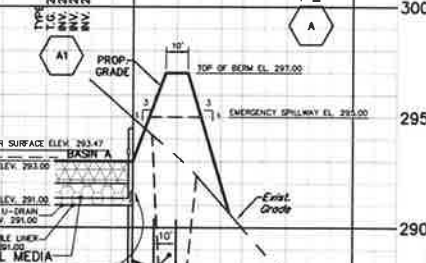
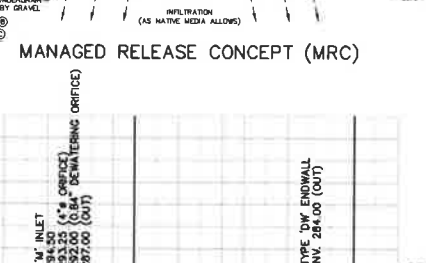
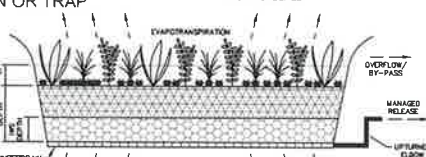
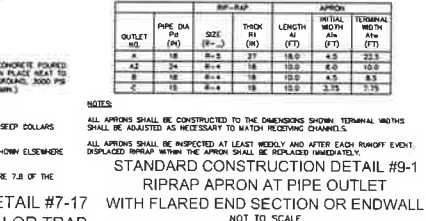
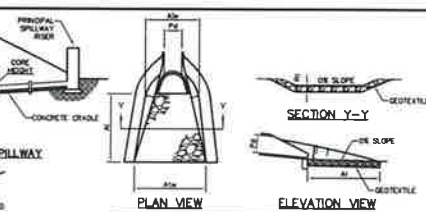
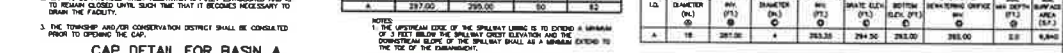
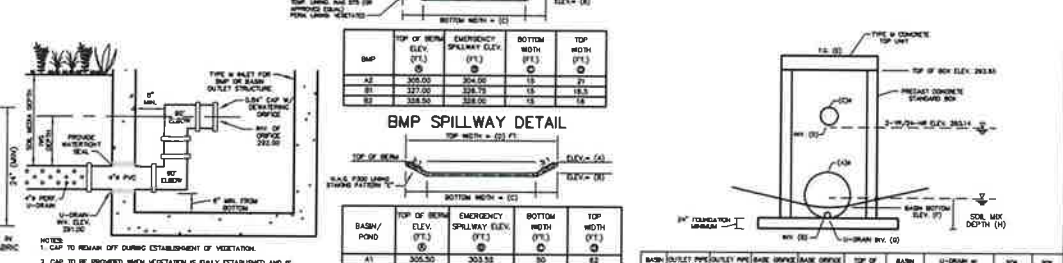
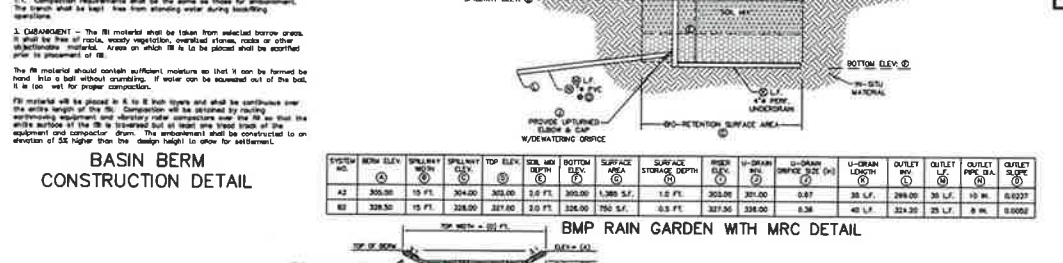
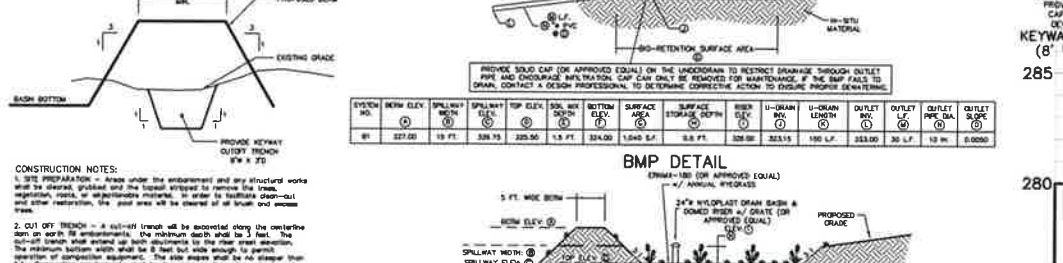
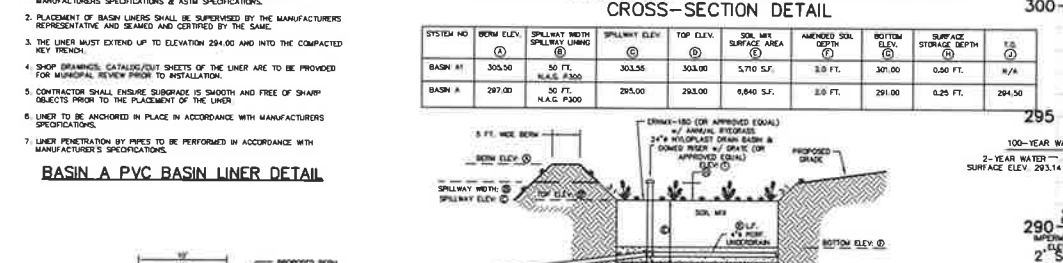
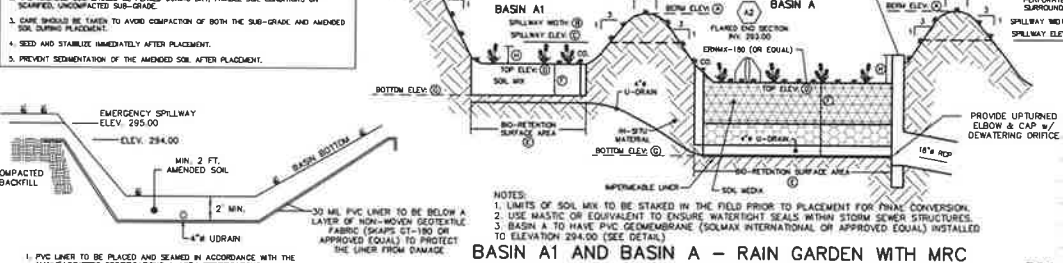
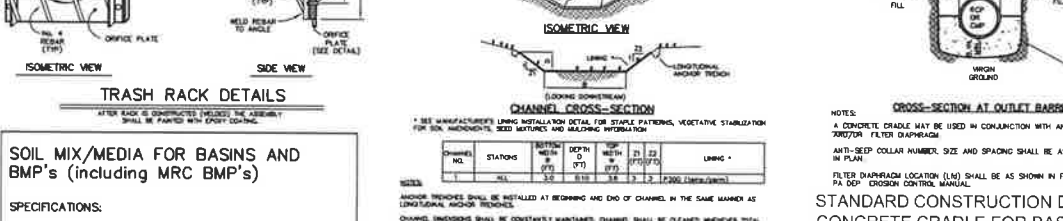
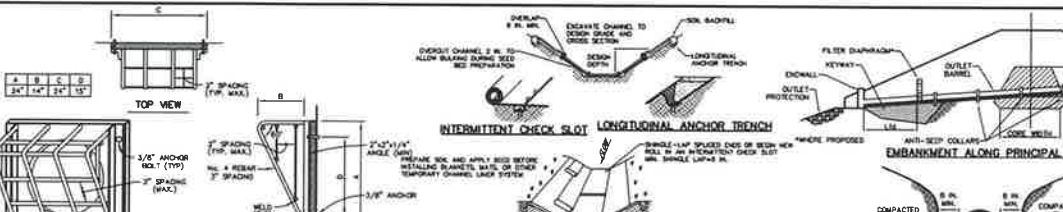
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9. All earth disturbance activities shall proceed in accordance with the PCSM plan. Each step of the PCSM plan shall be approved by the local authority before any earth disturbance activities begin.



### TABLE 1: MANUFACTURER LING INSTALLATION DATA FOR STABLE PATTERNS, VEGETATIVE STABILIZATION FOR SOIL WASHING, EROSION CONTROL, AND OTHER BEST MANAGEMENT PRACTICES

Channel	Station	Top Elevation (FT)	Bottom Elevation (FT)	Length (FT)	Width (FT)	Area (Sq. Ft.)	Notes
1	100.00	102.50	100.00	20	2	400	
2	100.00	102.50	100.00	20	2	400	
3	100.00	102.50	100.00	20	2	400	

### TABLE 2: MANUFACTURER LING INSTALLATION DATA FOR STABLE PATTERNS, VEGETATIVE STABILIZATION FOR SOIL WASHING, EROSION CONTROL, AND OTHER BEST MANAGEMENT PRACTICES

Channel	Station	Top Elevation (FT)	Bottom Elevation (FT)	Length (FT)	Width (FT)	Area (Sq. Ft.)	Notes
4	100.00	102.50	100.00	20	2	400	
5	100.00	102.50	100.00	20	2	400	
6	100.00	102.50	100.00	20	2	400	

### TABLE 3: MANUFACTURER LING INSTALLATION DATA FOR STABLE PATTERNS, VEGETATIVE STABILIZATION FOR SOIL WASHING, EROSION CONTROL, AND OTHER BEST MANAGEMENT PRACTICES

Channel	Station	Top Elevation (FT)	Bottom Elevation (FT)	Length (FT)	Width (FT)	Area (Sq. Ft.)	Notes
7	100.00	102.50	100.00	20	2	400	
8	100.00	102.50	100.00	20	2	400	
9	100.00	102.50	100.00	20	2	400	

### TABLE 4: MANUFACTURER LING INSTALLATION DATA FOR STABLE PATTERNS, VEGETATIVE STABILIZATION FOR SOIL WASHING, EROSION CONTROL, AND OTHER BEST MANAGEMENT PRACTICES

Channel	Station	Top Elevation (FT)	Bottom Elevation (FT)	Length (FT)	Width (FT)	Area (Sq. Ft.)	Notes
10	100.00	102.50	100.00	20	2	400	
11	100.00	102.50	100.00	20	2	400	
12	100.00	102.50	100.00	20	2	400	

### TABLE 5: MANUFACTURER LING INSTALLATION DATA FOR STABLE PATTERNS, VEGETATIVE STABILIZATION FOR SOIL WASHING, EROSION CONTROL, AND OTHER BEST MANAGEMENT PRACTICES

Channel	Station	Top Elevation (FT)	Bottom Elevation (FT)	Length (FT)	Width (FT)	Area (Sq. Ft.)	Notes
13	100.00	102.50	100.00	20	2	400	
14	100.00	102.50	100.00	20	2	400	
15	100.00	102.50	100.00	20	2	400	

### TABLE 6: MANUFACTURER LING INSTALLATION DATA FOR STABLE PATTERNS, VEGETATIVE STABILIZATION FOR SOIL WASHING, EROSION CONTROL, AND OTHER BEST MANAGEMENT PRACTICES

Channel	Station	Top Elevation (FT)	Bottom Elevation (FT)	Length (FT)	Width (FT)	Area (Sq. Ft.)	Notes
16	100.00	102.50	100.00	20	2	400	
17	100.00	102.50	100.00	20	2	400	
18	100.00	102.50	100.00	20	2	400	

### TABLE 7: MANUFACTURER LING INSTALLATION DATA FOR STABLE PATTERNS, VEGETATIVE STABILIZATION FOR SOIL WASHING, EROSION CONTROL, AND OTHER BEST MANAGEMENT PRACTICES

Channel	Station	Top Elevation (FT)	Bottom Elevation (FT)	Length (FT)	Width (FT)	Area (Sq. Ft.)	Notes
19	100.00	102.50	100.00	20	2	400	
20	100.00	102.50	100.00	20	2	400	
21	100.00	102.50	100.00	20	2	400	

### TABLE 8: MANUFACTURER LING INSTALLATION DATA FOR STABLE PATTERNS, VEGETATIVE STABILIZATION FOR SOIL WASHING, EROSION CONTROL, AND OTHER BEST MANAGEMENT PRACTICES

Channel	Station	Top Elevation (FT)	Bottom Elevation (FT)	Length (FT)	Width (FT)	Area (Sq. Ft.)	Notes
22	100.00	102.50	100.00	20	2	400	
23	100.00	102.50	100.00	20	2	400	
24	100.00	102.50	100.00	20	2	400	

NOTES:  
1. A CONCRETE CHAMBER CAN BE USED IN CONJUNCTION WITH ANTI-SEEP COLLARS.  
2. ALL COLLARS SHALL BE INSPECTED AT LEAST TWICE AFTER EACH RAINFALL EVENT.  
3. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.  
4. STANDARD CONSTRUCTION DETAIL #9-1 RIPRAP APRON AT PIPE OUTLET.  
5. STANDARD CONSTRUCTION DETAIL #7-17 WITH FLARED END SECTION OR ENDWALL.  
6. NOT TO SCALE.

**STATA**  
Engineering, Inc.  
Civil Engineers • Land Surveyors  
2499 KNIGHT ROAD, PENNSBURG, PA 18073  
MAILING: P.O. BOX 87, RED HILL, PA 18076  
PH: (215) 679-0200; www.stata.com

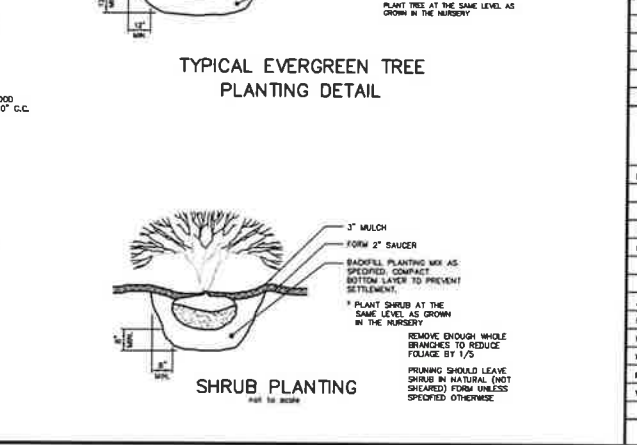
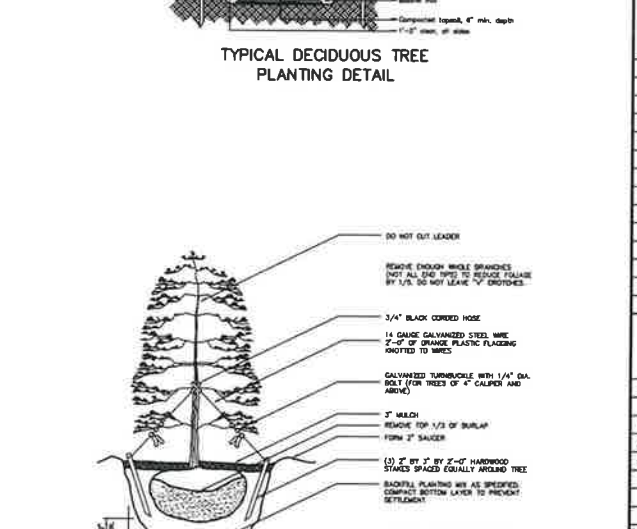
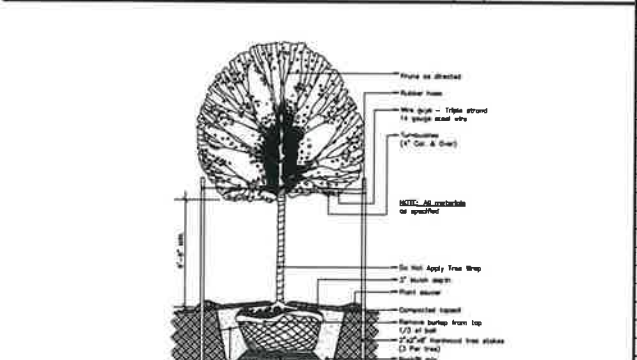
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DRAWN BY: J.A.C.  
PROJECT NUMBER: 5686  
PROJECT MANAGER: S.A.R.  
DRAWING FILE NUMBER: 5686DET  
PLAN SHEET NUMBER: 12 OF 24



REPLACEMENT TREE CALCULATIONS

REPLACEMENT TREES CALCULATIONS table with columns: TREE DIA., EXISTING COUNT, DBH, NUMBER DISTURBED, DBH DISTURBED. Includes a summary table for 2.5" CAL TREES and a PRESERVED TREE CHART.

INDIVIDUAL ON-LOT TREES REPLACEMENT TREE PLANT SCHEDULE table with columns: KEY, BOTANICAL NAME, COMMON NAME, SIZE, ROOT, QTY.



PLANT SCHEDULE & CALCULATIONS

STREET TREES PLANT SCHEDULE table with columns: KEY, BOTANICAL NAME, COMMON NAME, SIZE, ROOT, QTY.

FILTERING BUFFER PLANT SCHEDULE table with columns: KEY, BOTANICAL NAME, COMMON NAME, SIZE, ROOT, QTY.

SHRUBS PLANT SCHEDULE table with columns: KEY, BOTANICAL NAME, COMMON NAME, SIZE, ROOT, QTY.

STORMWATER PLANTINGS - BASIN A & A1 PLANT SCHEDULE table with columns: KEY, BOTANICAL NAME, COMMON NAME, SIZE, ROOT, QTY.

STORMWATER PLANTINGS - BMP A2 PLANT SCHEDULE table with columns: KEY, BOTANICAL NAME, COMMON NAME, SIZE, ROOT, QTY.

STORMWATER PLANTINGS - BMP B1 PLANT SCHEDULE table with columns: KEY, BOTANICAL NAME, COMMON NAME, SIZE, ROOT, QTY.

STORMWATER PLANTINGS - BMP B2 PLANT SCHEDULE table with columns: KEY, BOTANICAL NAME, COMMON NAME, SIZE, ROOT, QTY.

STORMWATER PLANTINGS - BMP B2 PLANT SCHEDULE table with columns: KEY, BOTANICAL NAME, COMMON NAME, SIZE, ROOT, QTY.

PLANTING NOTES

- 1. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. THEY SHALL HAVE WELL DEVELOPED BRANCHES, AND VIGOROUS FIBROUS ROOT SYSTEMS. 2. STREETS AND BUILT-UP AREAS EXCEPT PLANTING BEDS SHALL BE SEEDED AND MULCHED. 3. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, FERTILIZING, SPRAYING, PRUNING, AND REPAIRING OF CUTS, REMOVAL AND REPLACEMENT OF DEAD MATERIAL.

SEED MIX SPECIFICATIONS

BASIN AND BIO-RETENTION BOTTOM MIX. BEST SEED MIX RAIN GARDEN MIX NUMBER F9904-180. APPROVED EQUAL FOR UPLAND AND MEADOW SITES. SEED RATE IS 20 LB PER ACRE WITH A COVER CROP OF GRASS RYE AT 30 LB PER ACRE.

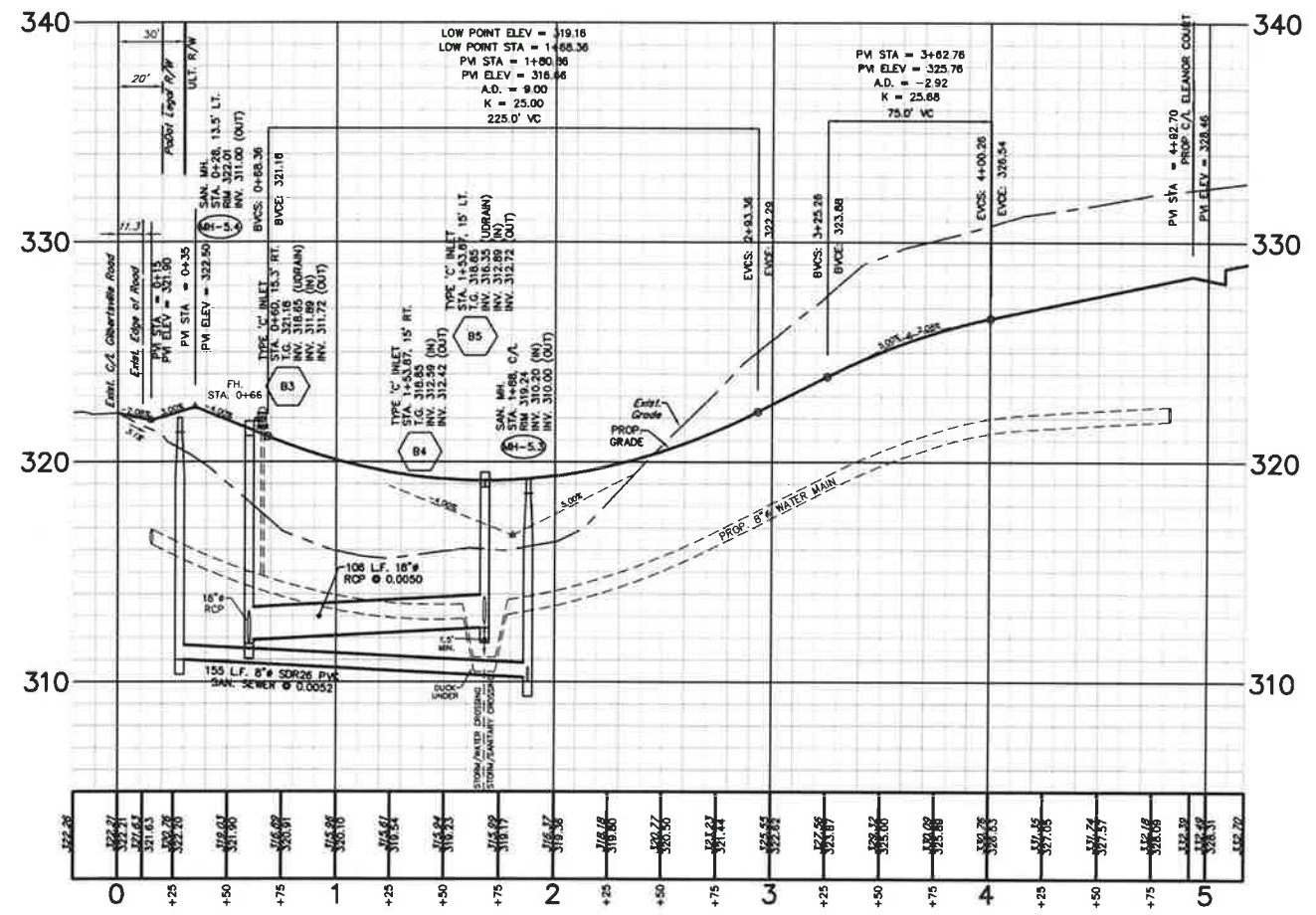
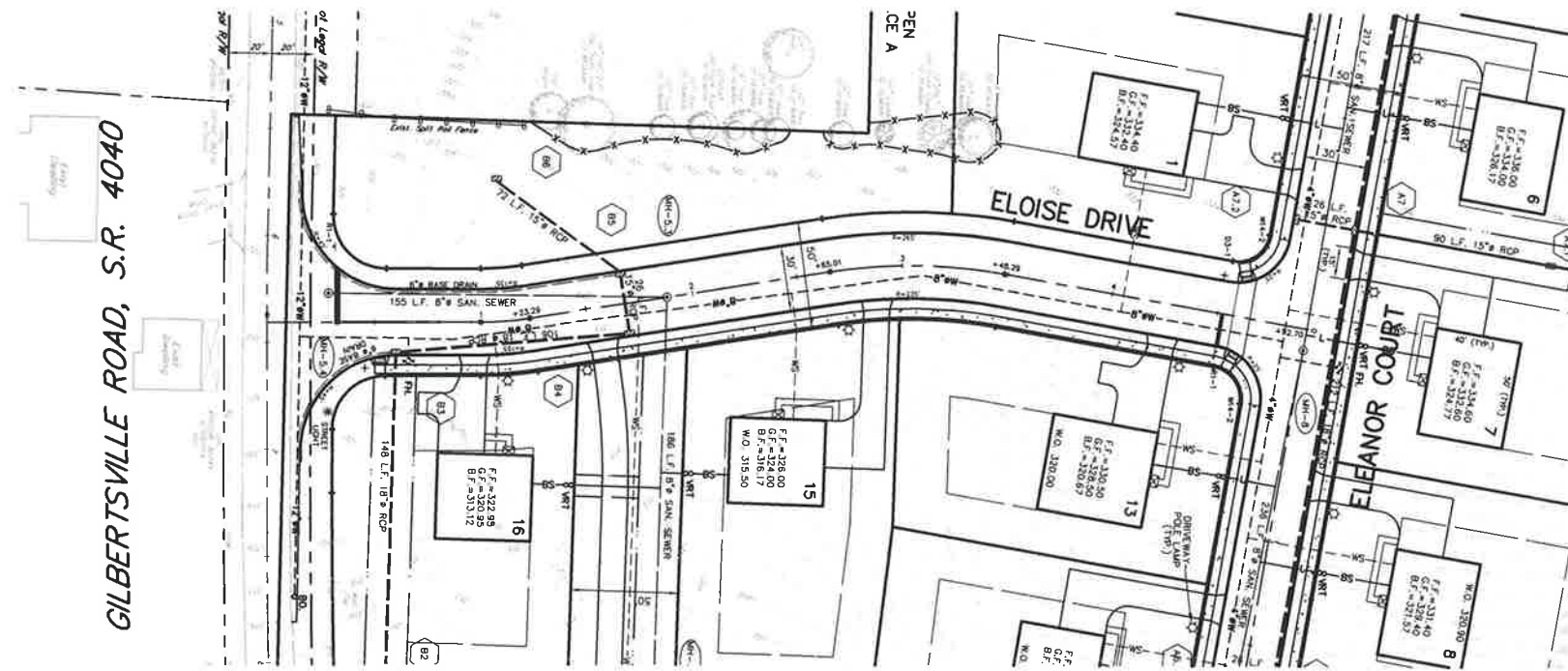
LANDSCAPE REQUIREMENTS

LANDSCAPE REQUIREMENTS table with columns: LANDSCAPE REQUIREMENTS, REQUIRED, PROVIDED. Includes rows for STREET TREES, FILTERING BUFFER, and BASIN PLANTINGS.

PCSM LANDSCAPE DETAIL SHEET

303 & 335 GILBERTSVILLE ROAD. WEXFORD COURT, LLC. SITE STRATE IN DOUGLASS TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA.

STA Engineering, Inc. Civil Engineers • Land Surveyors. 2499 KNIGHT ROAD, PENNSBURG, PA 18073. PH: (215) 679-0200; www.stotoc.com. Includes a table with project details like PLAN SCALE, DRAFTED BY, PROJECT NUMBER, etc.



GRAPHIC SCALE

4	JAC	PER VARIOUS REVIEWS	FEB. 24, 2021
3	JAC	PER VARIOUS REVIEWS	AUG. 4, 2020
2	JAC	PER VARIOUS REVIEWS	MAR. 18, 2020
1	JAC	S.T.A. PLAN ORIGINATOR DATE	AUG. 30, 2019

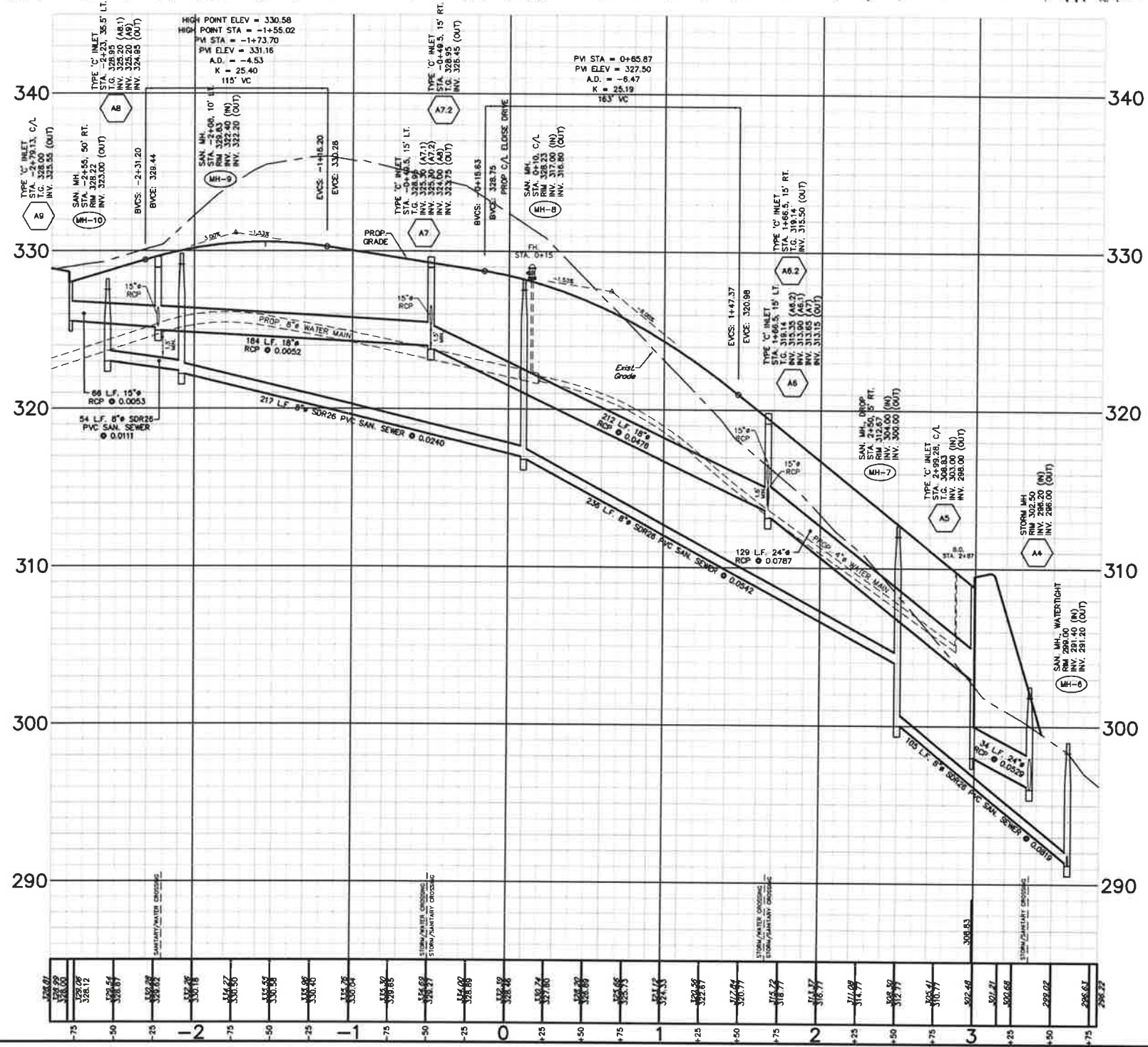
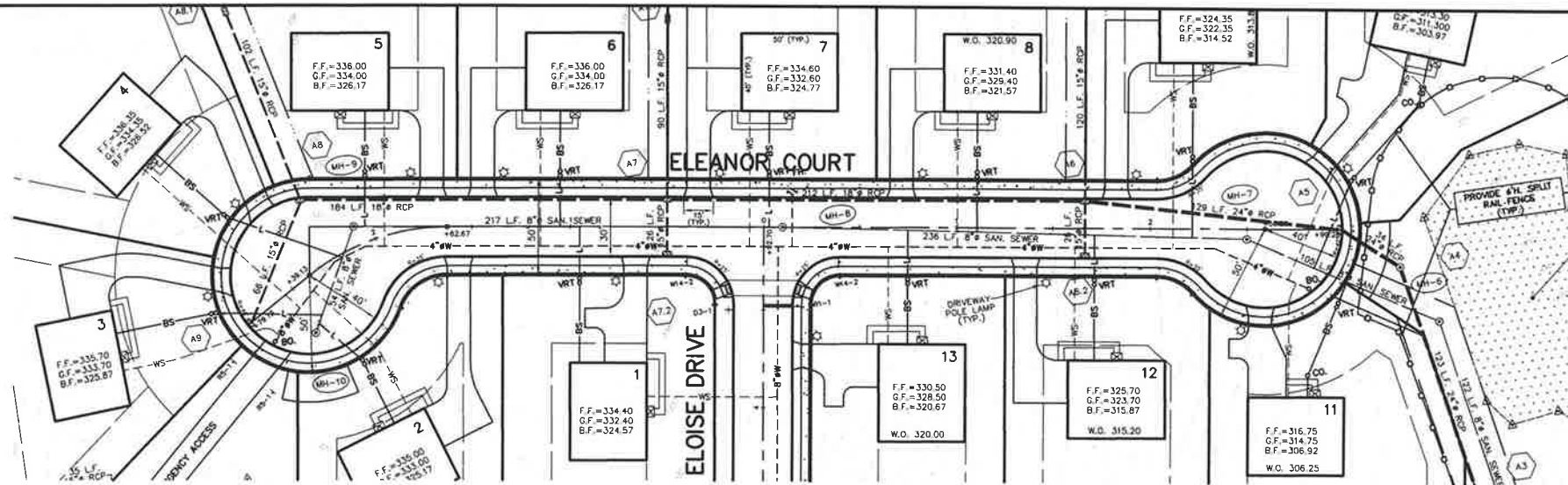
**PLAN AND PROFILE**  
 OF  
**ELOISE DRIVE**  
 AS PART OF  
**303 & 335 GILBERTSVILLE ROAD**  
 PREPARED FOR  
**WEXFORD COURT, LLC.**  
SITE SITUATE IN  
 DOUGLASS TOWNSHIP  
 MONTGOMERY COUNTY, PENNSYLVANIA

S T A  
 Engineering, Inc.

**Civil Engineers • Land Surveyors**  
 2499 KNIGHT ROAD, PENNSBURG, PA 18073  
 MAILING: P.O. BOX 87, RED HILL, PA 18076  
 PH: (215) 679-0200; www.stotac.com

PLAN SCALE	DRAFTED BY	PROJECT MANAGER	PLAN SHEET NUMBER
HORIZONTAL: 1" = 40'	J.A.C.	M.E.T.	15 OF 24
VERTICAL: 1" = 4'	PROJECT NUMBER	DRAWING FILE NUMBER	
	5686	5686PRD	





GRAPHIC SCALE

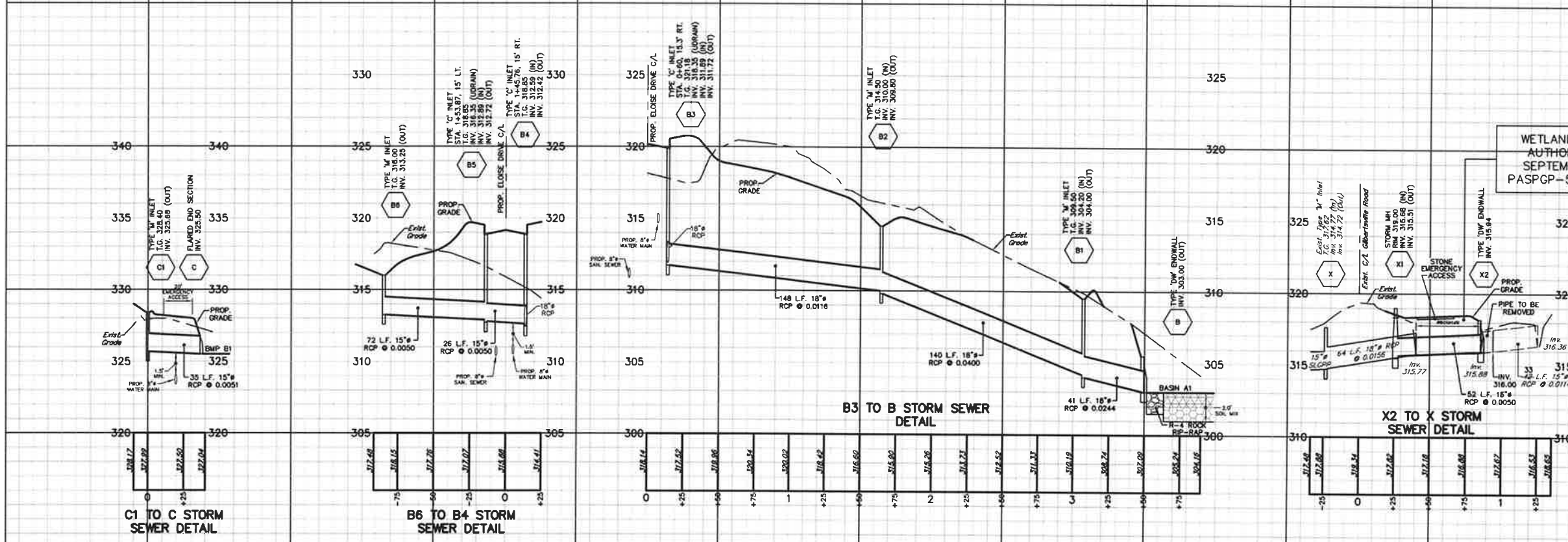
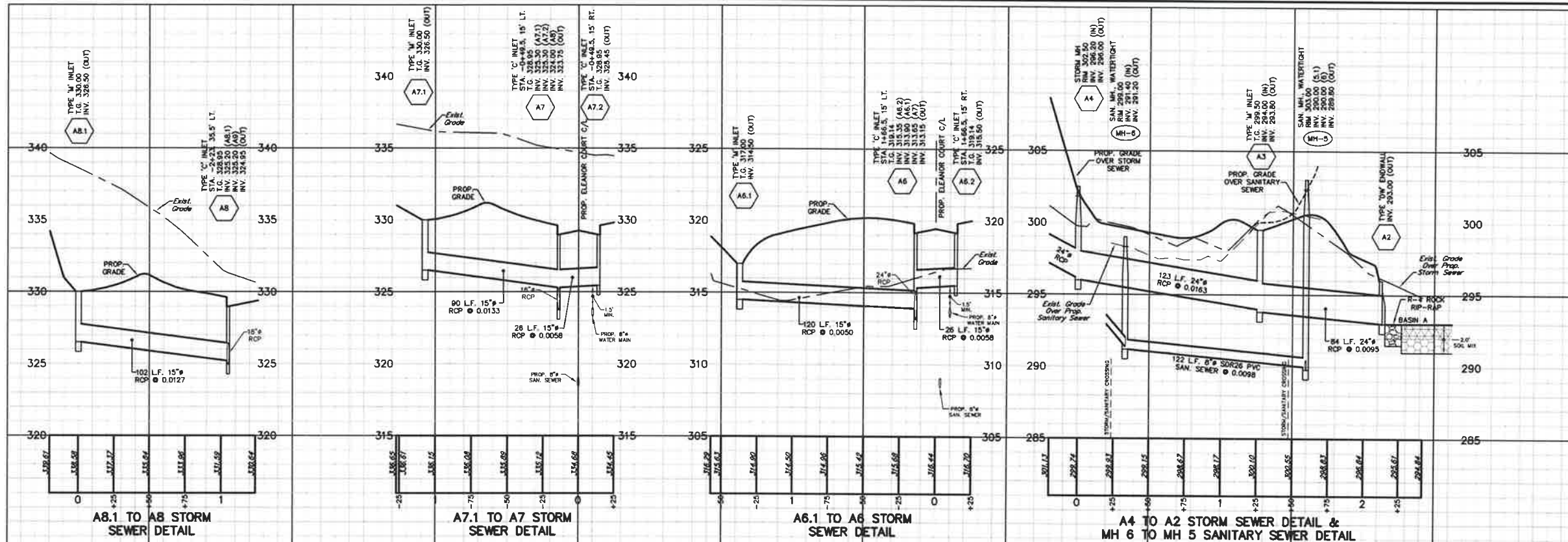
4	JAC	PER VARIOUS REVIEWS	FEB. 24, 2021
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2	JAC	PER VARIOUS REVIEWS	MAR. 18, 2020
1	JAC	S.T.A. PLAN ORIGIN DATE	AUG. 30, 2019

PLAN AND PROFILE  
OF  
**ELEANOR COURT**  
AS PART OF  
**303 & 335 GILBERTSVILLE ROAD**  
PREPARED FOR  
**WEXFORD COURT, LLC.**  
SITE SITUATE IN  
DOUGLASS TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA

**STA**  
Engineering, Inc.

**Civil Engineers • Land Surveyors**  
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PLAN SCALE	DRAFTED BY	PROJECT MANAGER	PLAN SHEET NUMBER
HORIZONTAL 1" = 40'	J.A.C.	M.E.T.	<b>16</b> of 24
VERTICAL 1" = 4'	PROJECT NUMBER 5686	GRAPHIC FILE NUMBER 5686PRD	



WETLANDS TO BE ELIMINATED - STATE AUTHORIZATION: GP 074601220-027 SEPTEMBER 30, 2020 & ARMY CORPS PASPGP-5 VERIFICATION: AUGUST 4, 2020



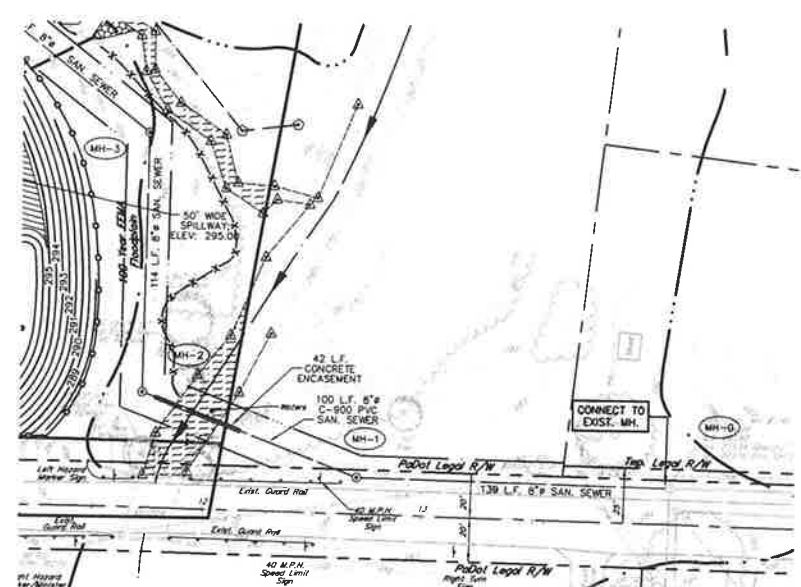
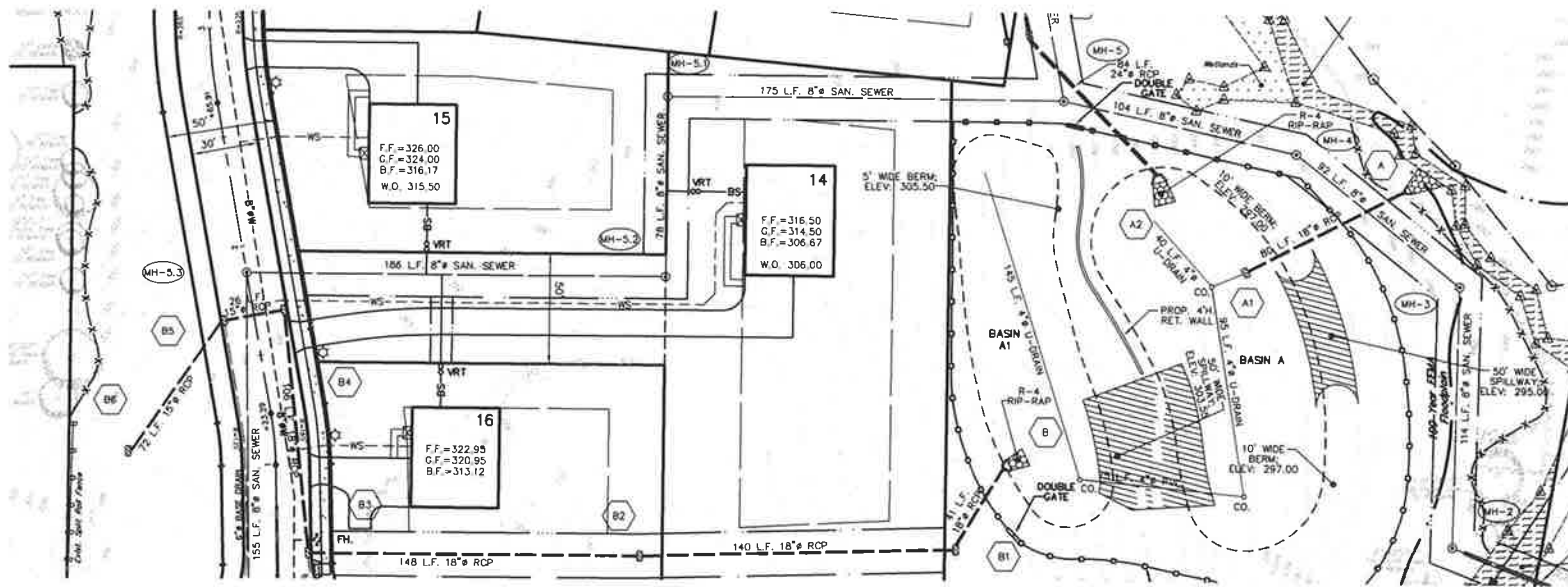
4	JAC	PER VARIOUS REVIEWS	FEB. 24, 2021
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2	JAC	PER VARIOUS REVIEWS	MAR. 18, 2020
1	JAC	S.T.A. PLAN ORIGINATOR DATE	AUG. 30, 2019

PROFILES OF  
**STORM & SANITARY SEWER**  
 303 & 335 GILBERTSVILLE ROAD  
 WEXFORD COURT, LLC.  
 PREPARED FOR  
 SITE SITUATE IN  
 DOUGLASS TOWNSHIP  
 MONTGOMERY COUNTY, PENNSYLVANIA

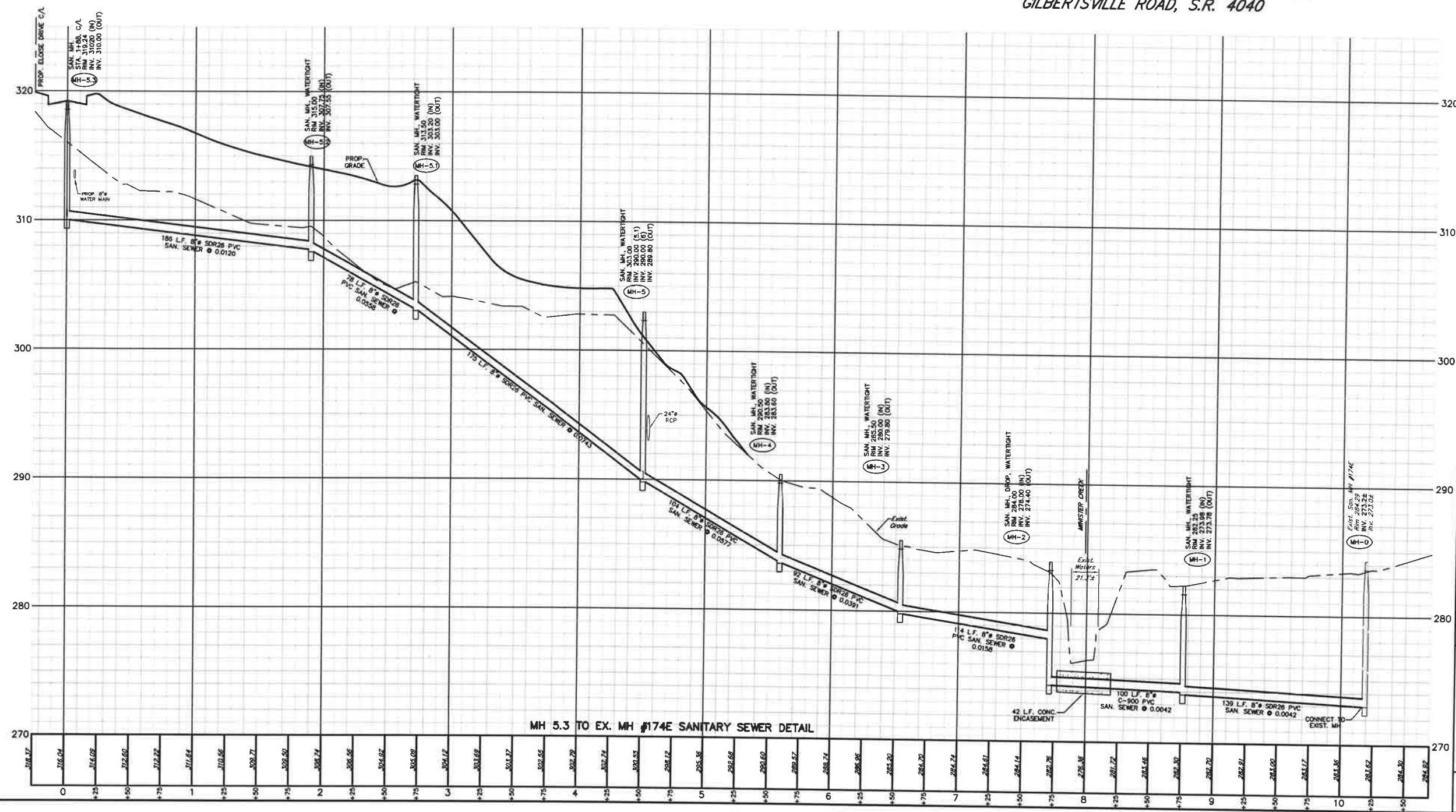


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PLAN SCALE	DRAWN BY	PROJECT MANAGER	PLAN SHEET NUMBER
HORIZONTAL: 1" = 40'	J.A.C.	M.E.T.	
VERTICAL: 1" = 4'	PROJECT NUMBER 5686	DRAWING FILE NUMBER 5686PROF	17 of 24



GILBERTSVILLE ROAD, S.R. 4040



MH 5.3 TO EX. MH #174E SANITARY SEWER DETAIL

GRAPHIC SCALE

#	JAC	PER VARIOUS REVIEWS	FEB. 24, 2021
3	JAC	PER VARIOUS REVIEWS	AUG. 4, 2020
2	JAC	PER VARIOUS REVIEWS	MAR. 18, 2020
1	JAC	S.T.A. PLAN ORIGINATOR DATE	AUG. 30, 2019

PLAN AND PROFILE  
OF  
SANITARY SEWER  
AS PART OF  
**303 & 335 GILBERTSVILLE ROAD**  
PREPARED FOR  
**WEXFORD COURT, LLC.**  
SITE SITUATE IN  
DOUGLASS TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA

**S T A**  
Engineering, Inc.

Civil Engineers • Land Surveyors  
2499 KNIGHT ROAD, PENNSBURG, PA 18073  
MAILING: P.O. BOX 87, RED HILL, PA 18076  
PH: (215) 679-0200; www.stotoc.com

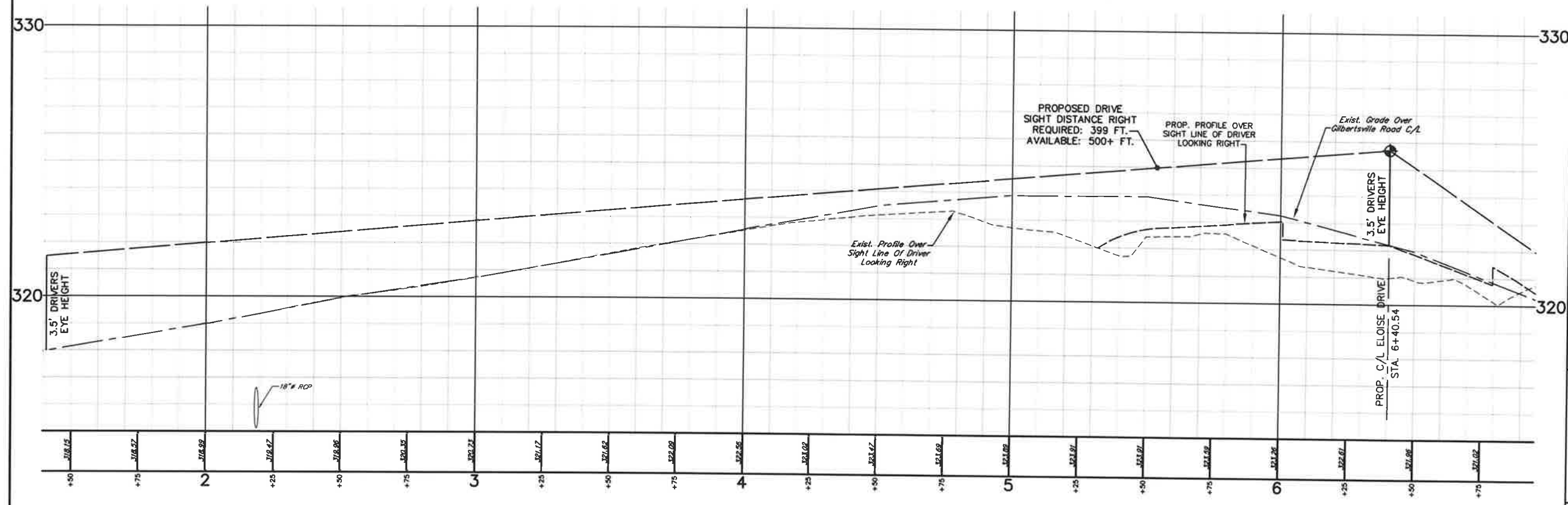
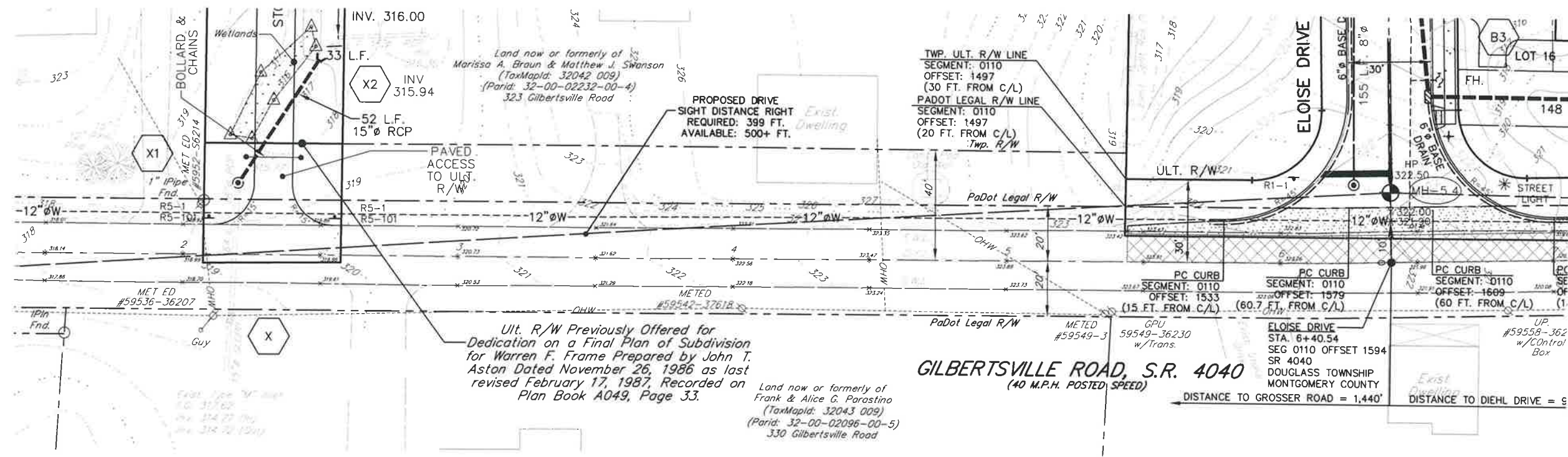
PLAN SCALE HORIZONTAL 1" = 40' VERTICAL 1" = 4'	DRAFTED BY J.A.C.	PROJECT MANAGER M.E.T.	PLAN SHEET NUMBER 5686 5686PROF 18 OF 24
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ACT 50 UTILITY NOTE

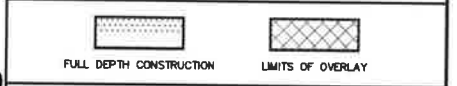


ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 121 AS FOR THE AMENDMENT OF PA ACT 287 OF 1974, EFFECTIVE OCTOBER 30, 2017 CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK. REFERENCE UTILITY CASE NUMBER: 2018124099.

303 & 335 GILBERTSVILLE ROAD (STA JOB #5686)



LEGEND



EPS NO. 207333; PERMIT NO. 06105301



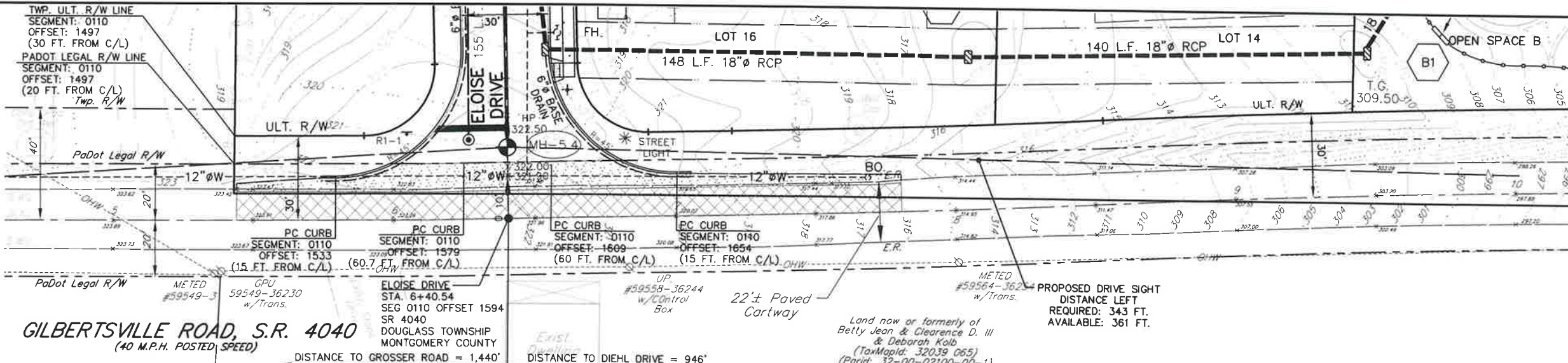
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3	JAC	PER VARIOUS REVIEWS	AUG. 4, 2020
2	JAC	PER VARIOUS REVIEWS	MAR. 18, 2020
1	JAC	STA. PLAN ORIGINATOR DATE	AUG. 30, 2019

PLAN AND PROFILE OF GILBERTSVILLE ROAD, S.R. 4040 AS PART OF 303 & 335 GILBERTSVILLE ROAD PREPARED FOR WEXFORD COURT, LLC. SITE SITUATION DOUGLASS TOWNSHIP MONTGOMERY COUNTY, PENNSYLVANIA

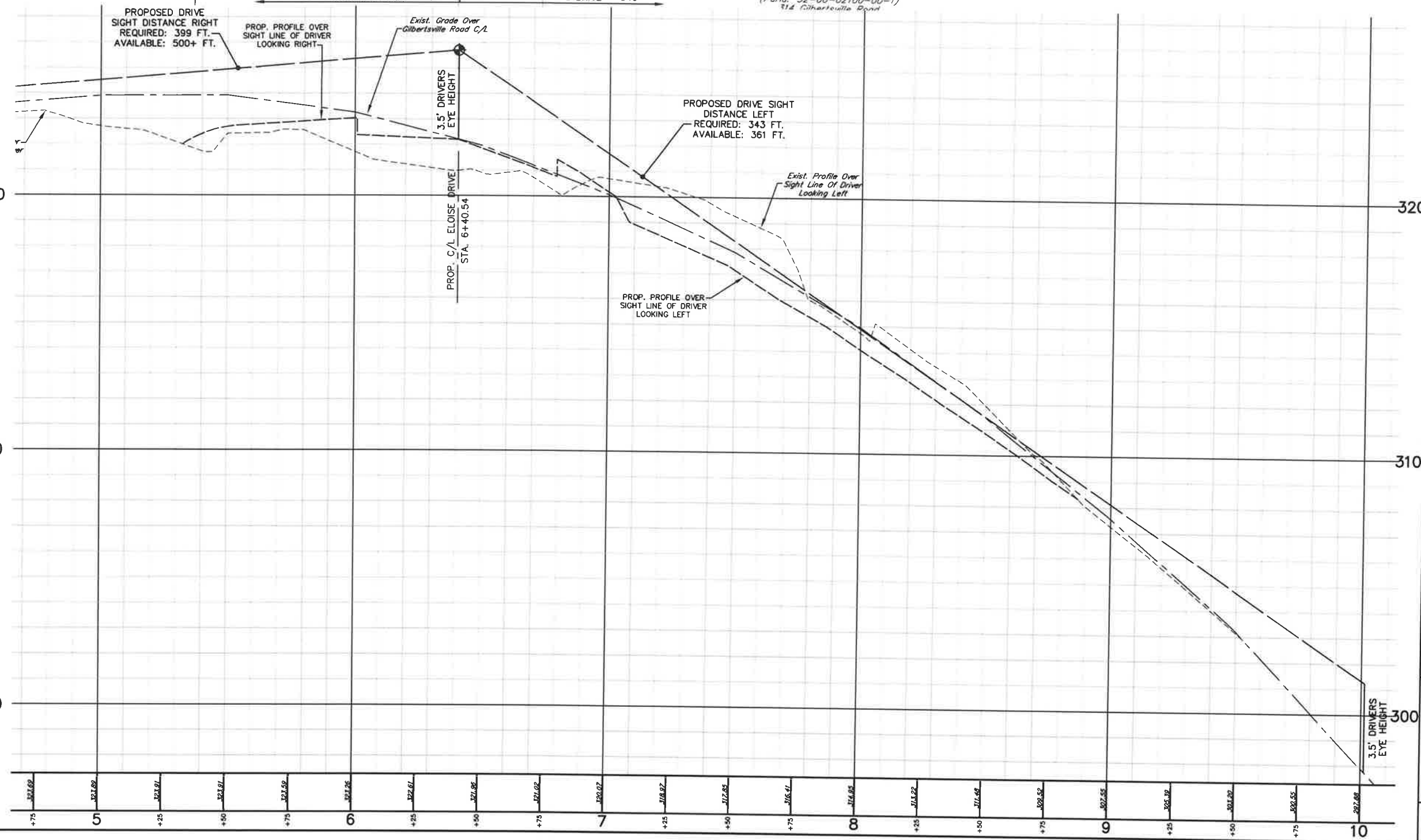


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PLAN SCALE	DRAFTED BY	PROJECT MANAGER	PLAN SHEET NUMBER
1"=20'	J.A.C.	M.E.T.	19 of 24
	PROJECT NUMBER	DRAWING FILE NUMBER	
	5686	5686HOP	



**GILBERTSVILLE ROAD, S.R. 4040**  
 (40 M.P.H. POSTED SPEED)



**ACT 50 UTILITY NOTE**  
 ATTENTION ALL CONTRACTORS: LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT NUMBER 121 AS PER THE AMENDMENT OF PA ACT 287 OF 1974, EFFECTIVE OCTOBER 30, 2017 CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK. REFERENCE UTILITY CASE NUMBER: 20181240999.

**LEGEND**  
  
 FULL DEPTH CONSTRUCTION      LIMITS OF OVERLAY

EPS NO. 207333; PERMIT NO. 06105301

GRAPHIC SCALE  
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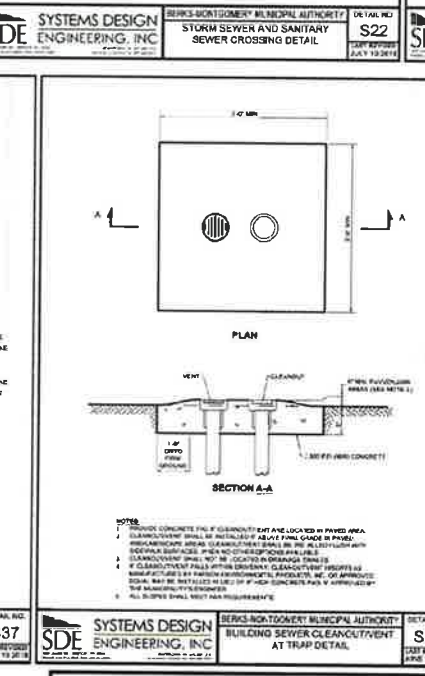
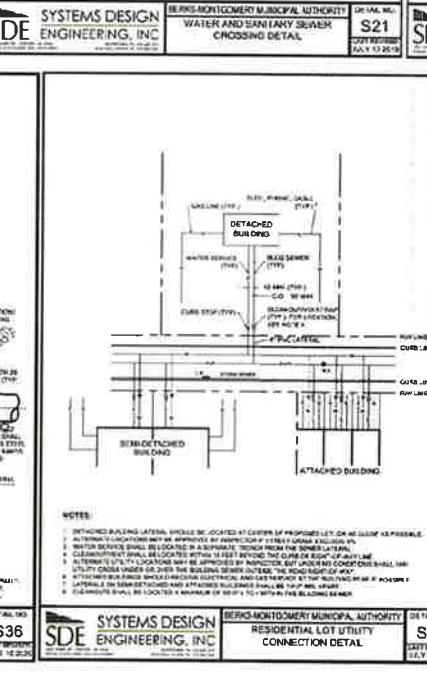
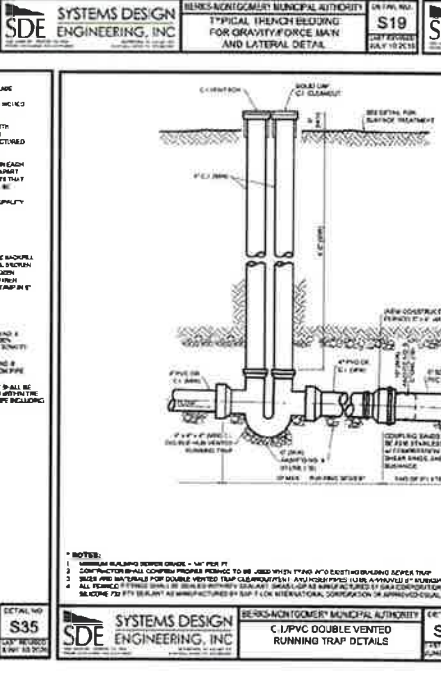
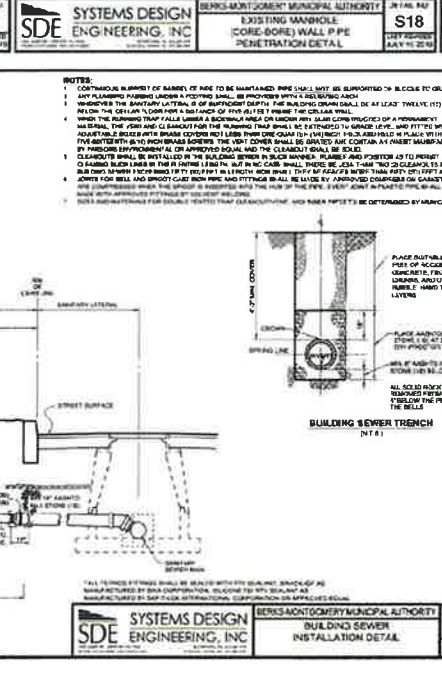
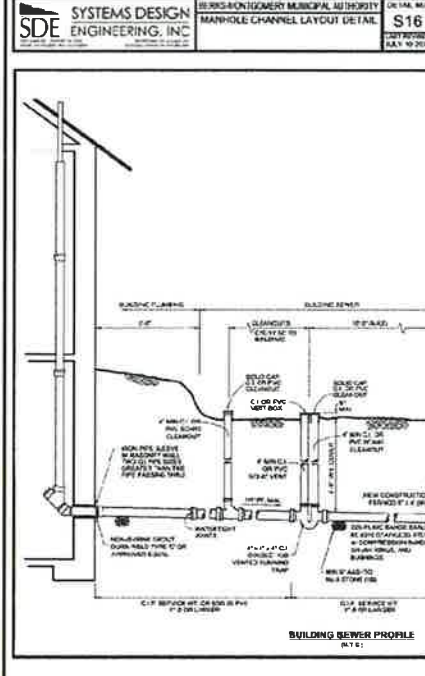
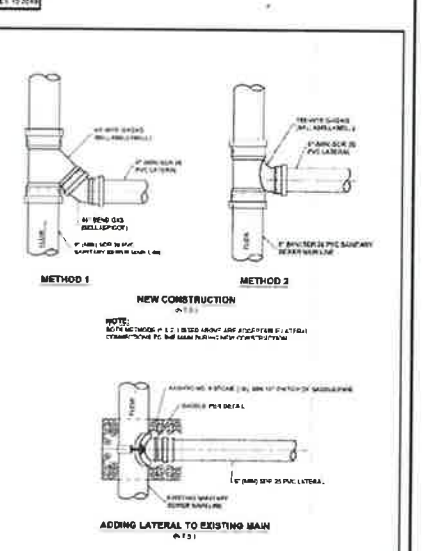
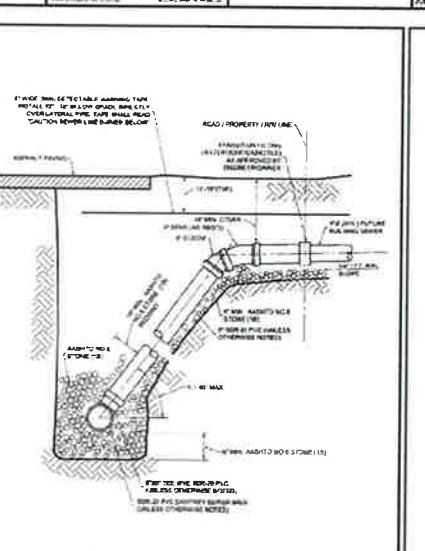
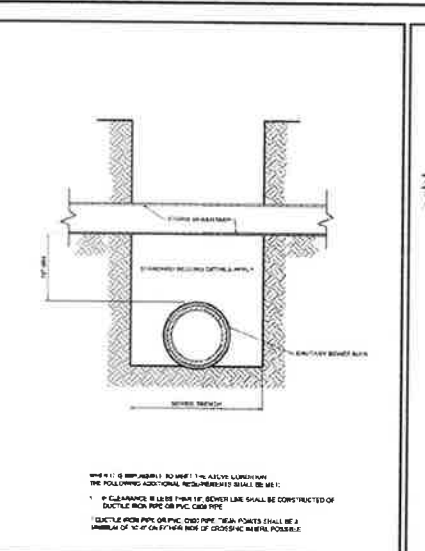
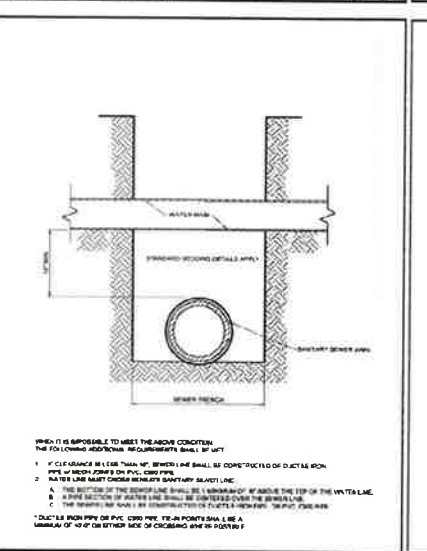
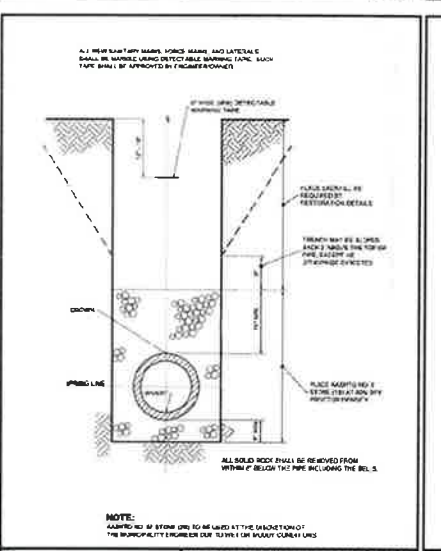
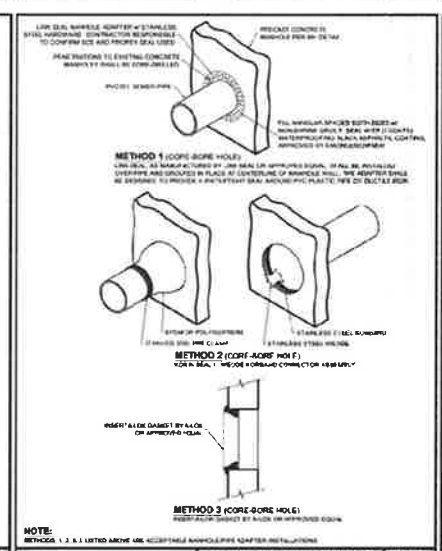
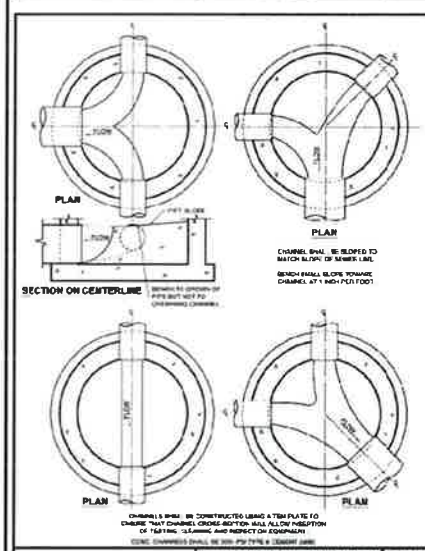
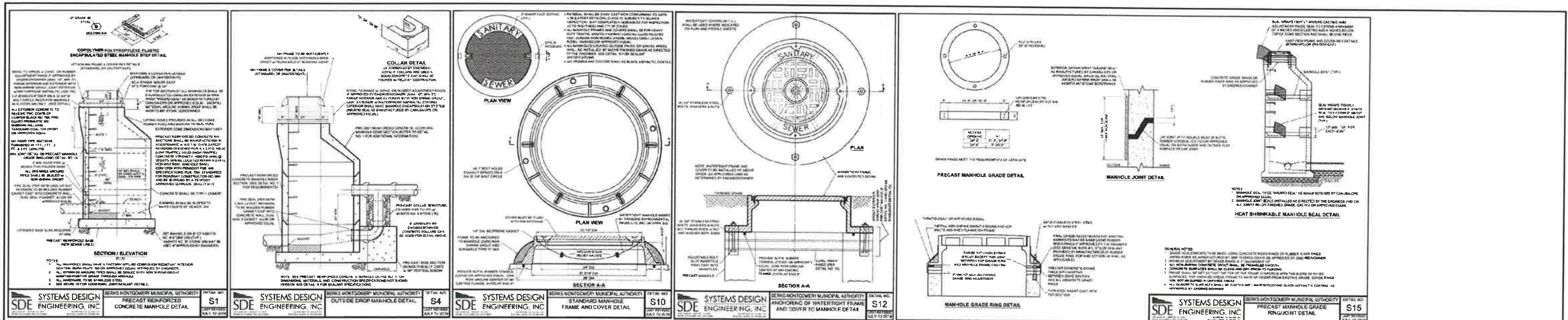
1	JAC	PER VARIOUS REVIEWS	FEB. 24, 2021
2	JAC	PER VARIOUS REVIEWS	AUG. 4, 2020
3	JAC	PER VARIOUS REVIEWS	MAR. 18, 2020
4	JAC	S.T.A. PLAN ORIGINATOR DATE	AUG. 30, 2019

PLAN AND PROFILE  
 OF  
**GILBERTSVILLE ROAD, S.R. 4040**  
 AS PART OF  
**303 & 335 GILBERTSVILLE ROAD**  
 PREPARED FOR  
**WEXFORD COURT, LLC.**  
 SITE SITUATE IN  
 DOUGLASS TOWNSHIP  
 MONTGOMERY COUNTY, PENNSYLVANIA

**SITA**  
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 2499 KNIGHT ROAD, PENNSBURG, PA 18073  
 MAILING: P.O. BOX 87, RED HILL, PA 18076  
 PH: (215) 679-0200; www.stotac.com

PLAN SCALE	DRAWN BY	PROJECT MANAGER	PLAN SHEET NUMBER
1"=20'	J.A.C.	M.E.T.	
	PROJECT NUMBER	DRAWING FILE NUMBER	
	5686	5686HOP	20 OF 24

303 & 335 GILBERTSVILLE ROAD (STA. 06) #5686



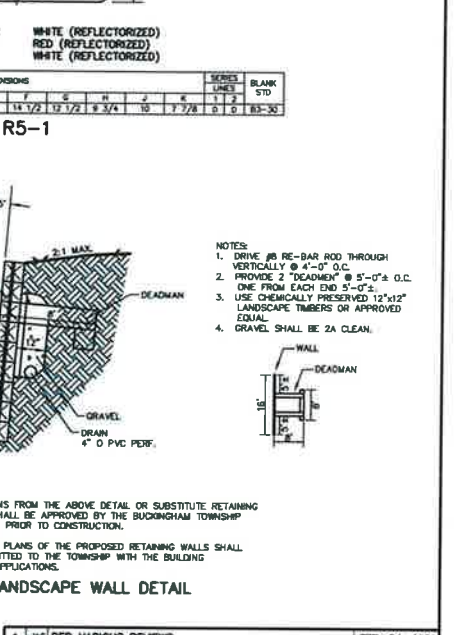
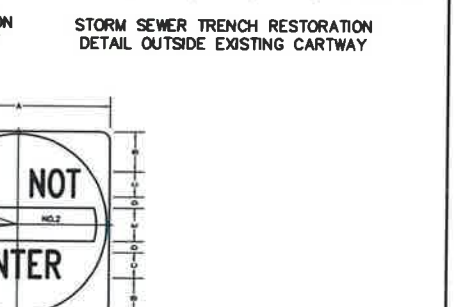
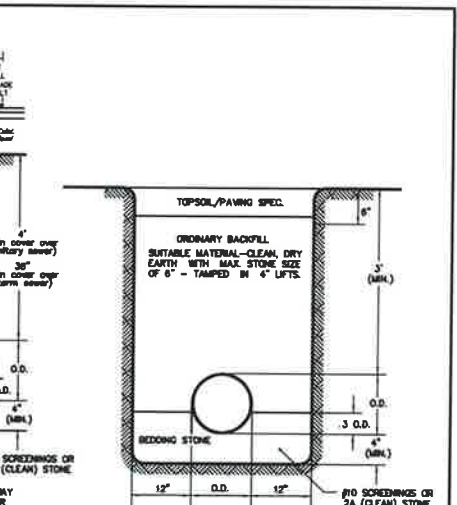
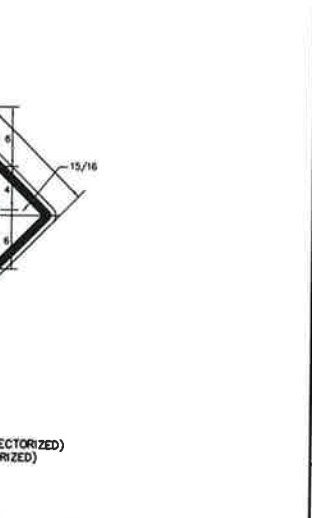
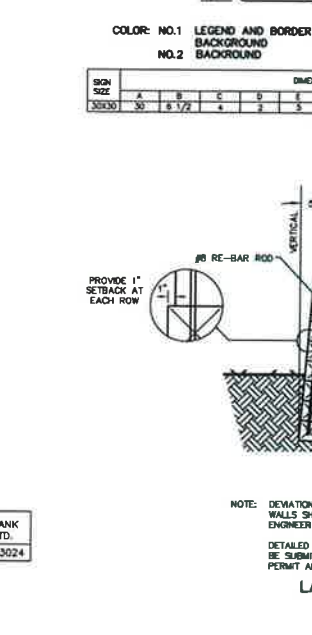
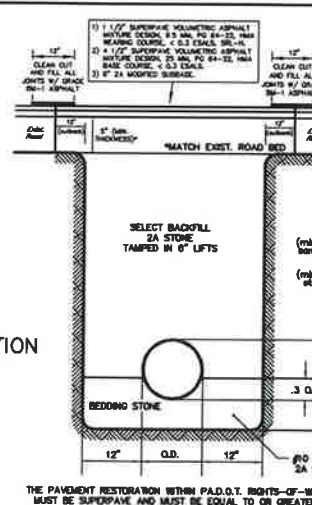
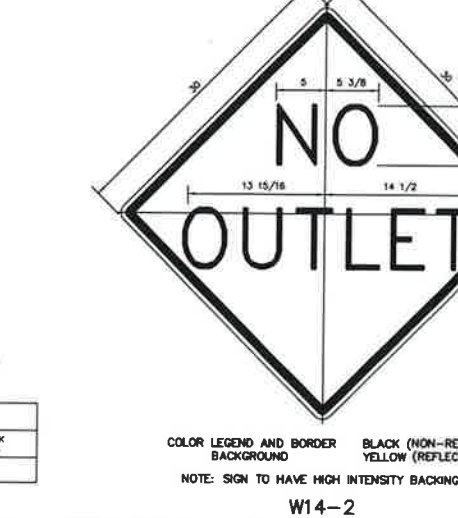
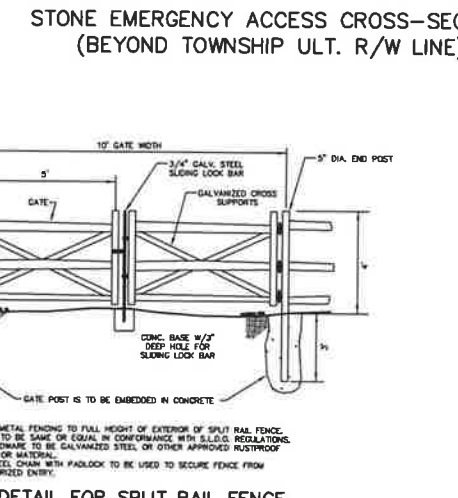
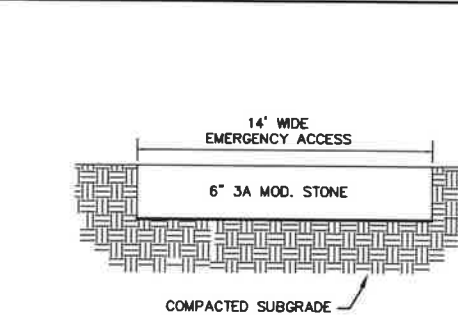
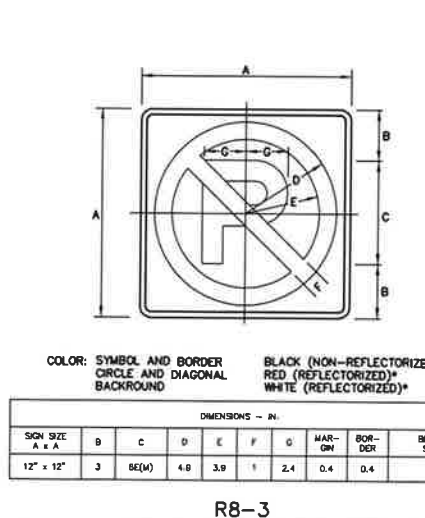
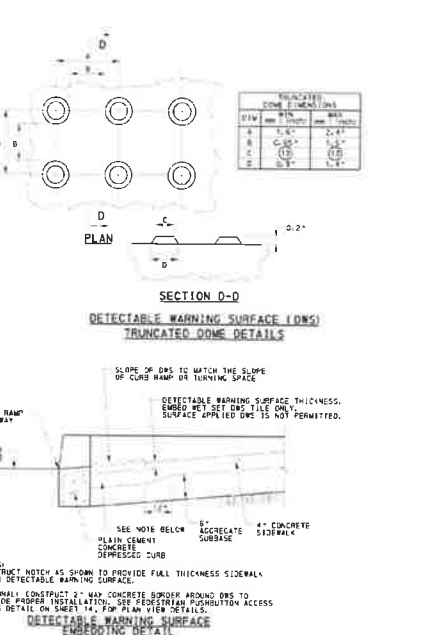
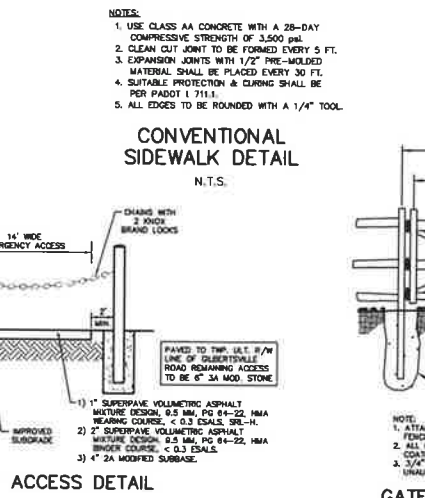
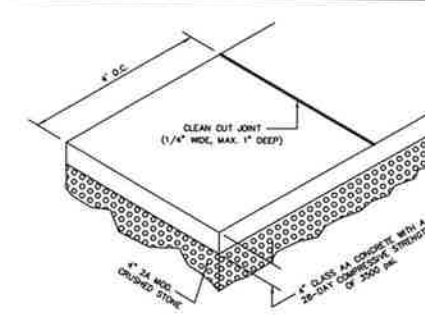
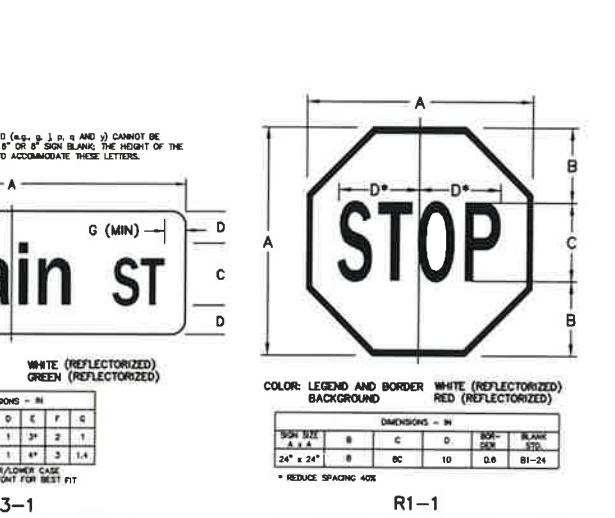
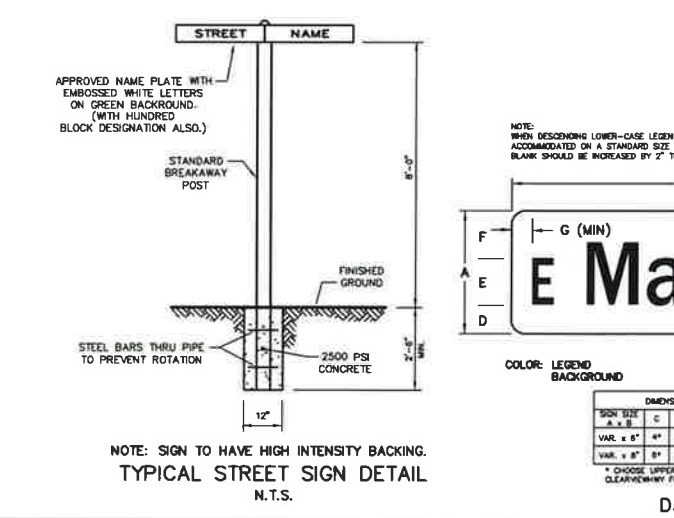
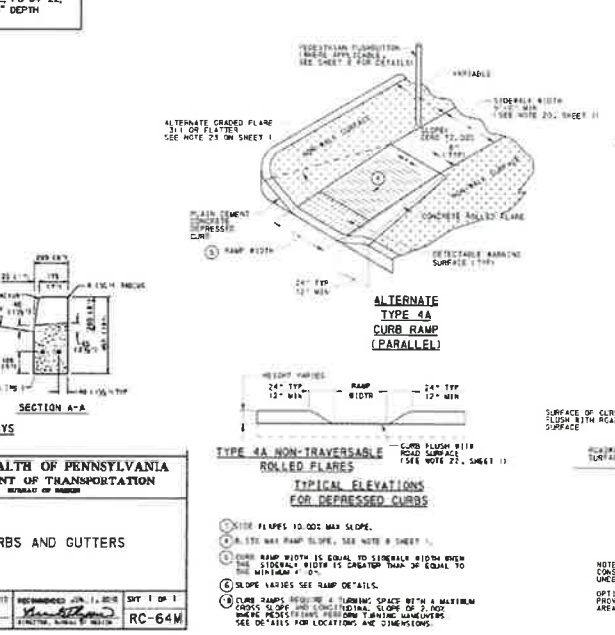
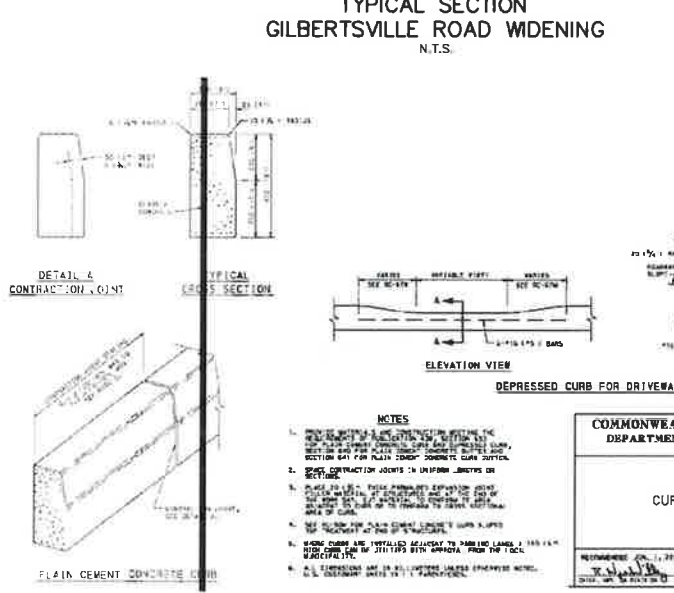
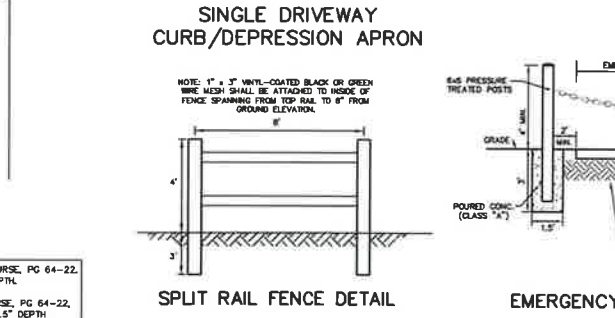
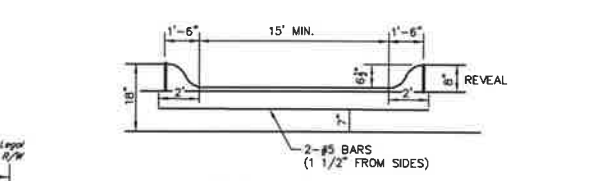
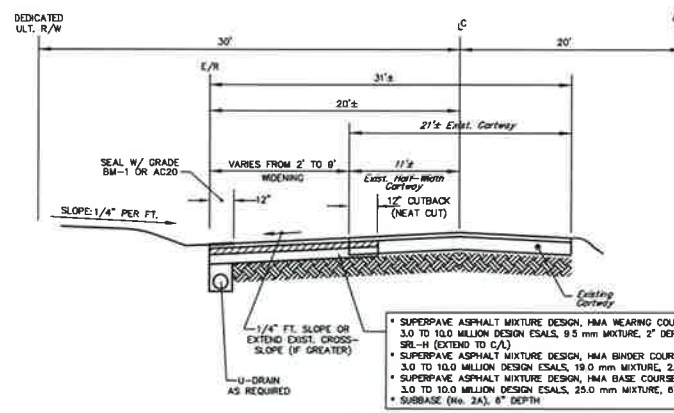
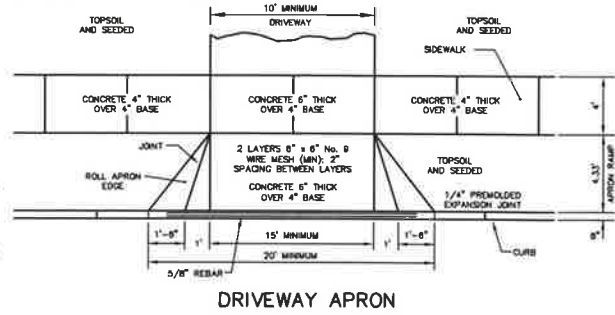
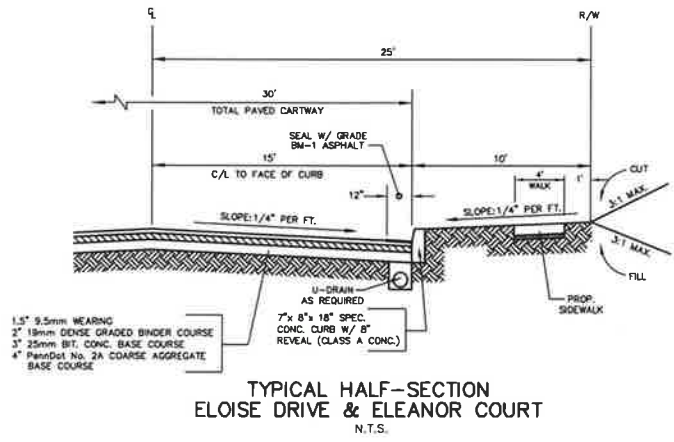
4	JAC	PER VARIOUS REVIEWS	FEB. 24, 2021
3	JAC	PER VARIOUS REVIEWS	AUG. 4, 2020
2	JAC	PER VARIOUS REVIEWS	MAR. 18, 2020
1	JAC	S.T.A. PLAN ORIGINATOR DATE	AUG. 30, 2019

**CONSTRUCTION DETAIL SHEET**  
**SANITARY SEWER FACILITIES**  
OF  
**303 & 335 GILBERTSVILLE ROAD**  
PREPARED FOR  
**WEXFORD COURT, LLC.**  
SITE SITUATE IN  
DOUGLASS TOWNSHIP  
MONTGOMERY COUNTY, PENNSYLVANIA

**S T A**  
Engineering, Inc.  
Civil Engineers • Land Surveyors  
2499 KNIGHT ROAD, PENNSBURG, PA 18073  
MAILING: P.O. BOX 87, RED HILL, PA 18076  
PH: (215) 679-0200; www.stotac.com

PLAN SCALE	DRAWN BY	PROJECT MANAGER	PLAN SHEET NUMBER
HORIZONTAL	J.A.C.	S.A.R.	
	PROJECT NUMBER	DRAWING FILE NUMBER	
	N.T.S.	5686	21 of 24

**CONTRACTOR TO SUBMIT SHOP DRAWINGS OF ALL PIPE, FITTING, PRECAST MANHOLES, MANHOLE FRAMES/COVERS, MANHOLE ADAPTERS/TIE-INS, ETC. TO SYSTEMS DESIGN ENGINEERING, INC. FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.**



**CONSTRUCTION DETAIL SHEET**  
OF  
**303 & 335 GILBERTSVILLE ROAD**  
PREPARED FOR  
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1	JAC S.T.A. PLAN ORIGINATOR DATE	AUG. 30, 2019

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HORIZONTAL:	J.A.C.	S.A.R.	
N.T.S.	PROJECT NUMBER	DRAWING FILE NUMBER	
	5686	5686DET	22 of 24

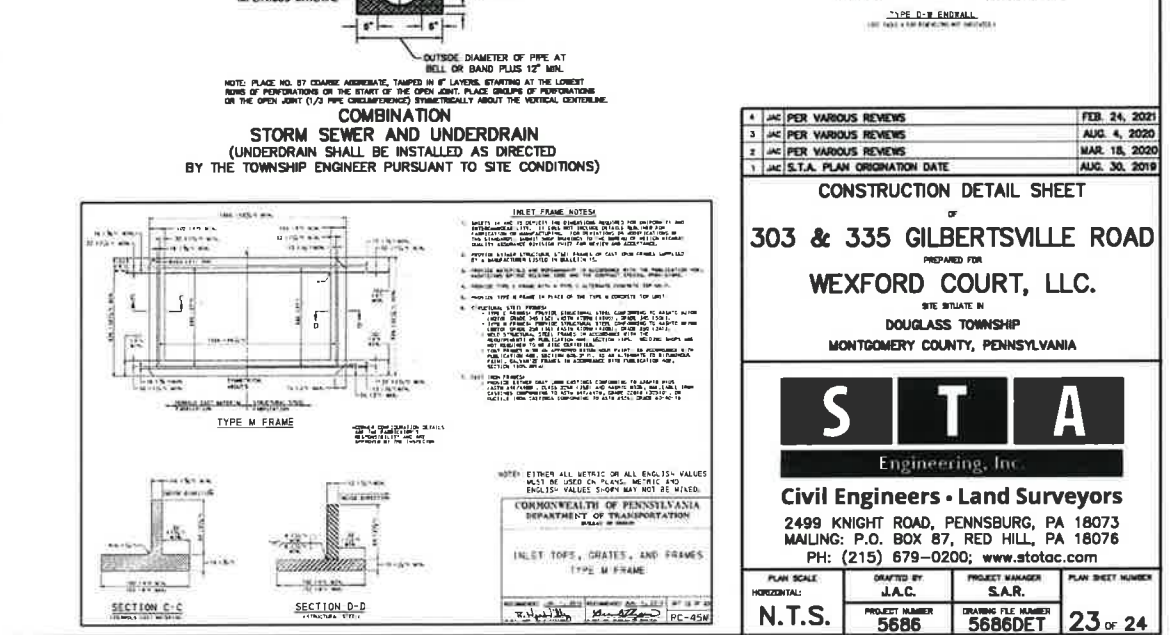
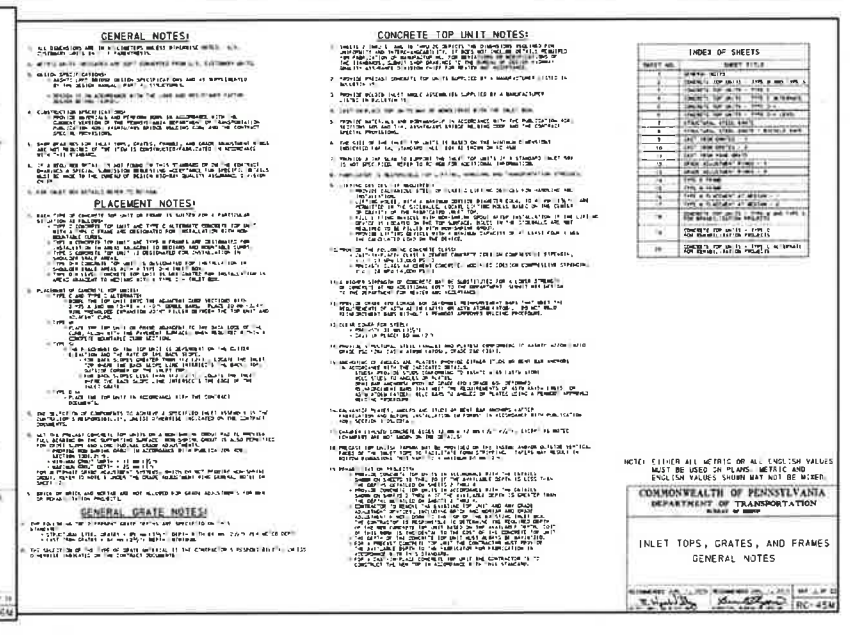
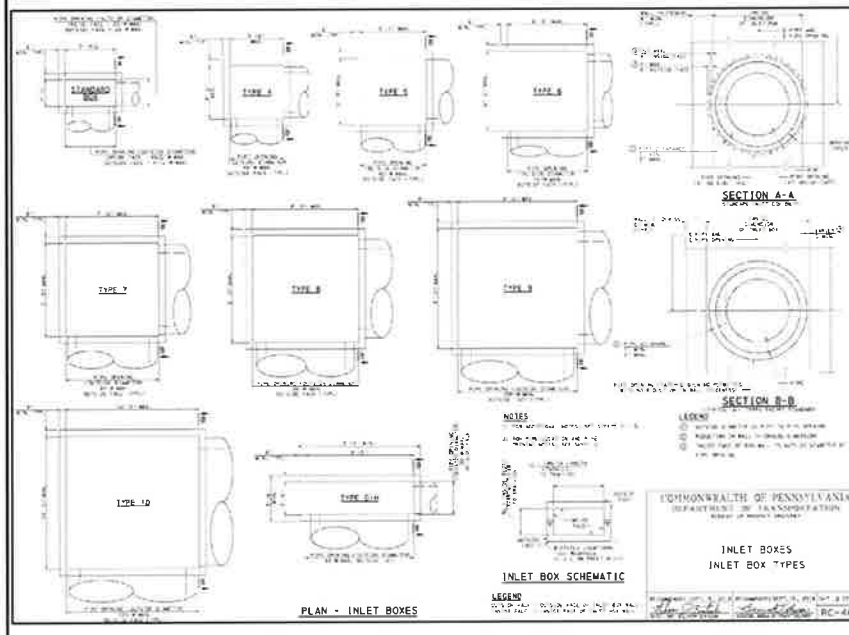
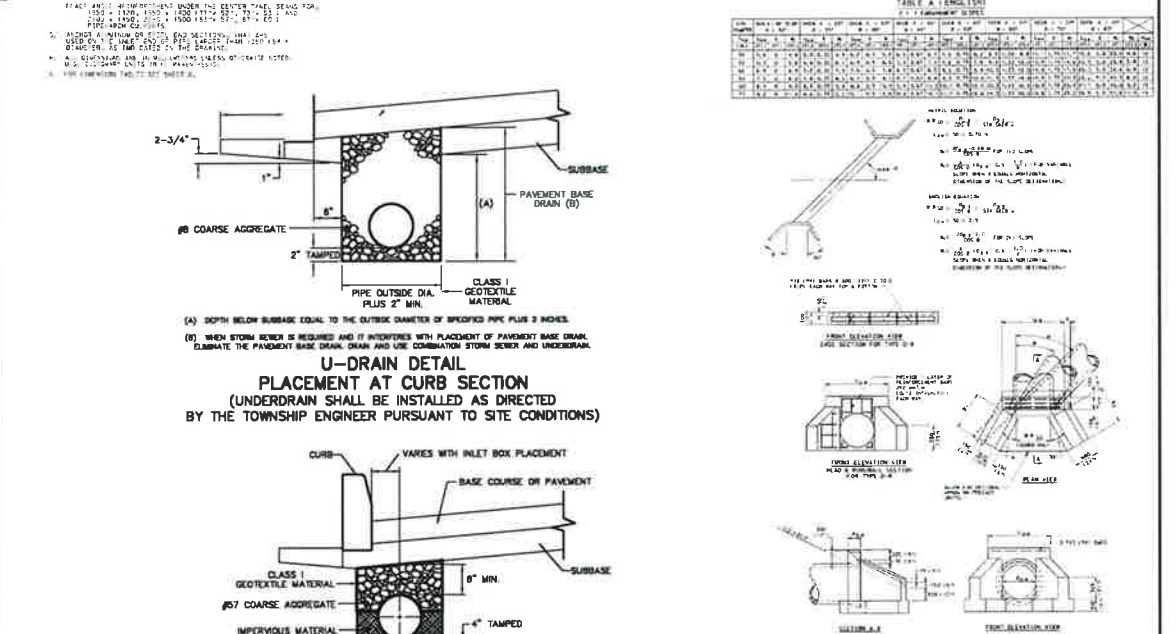
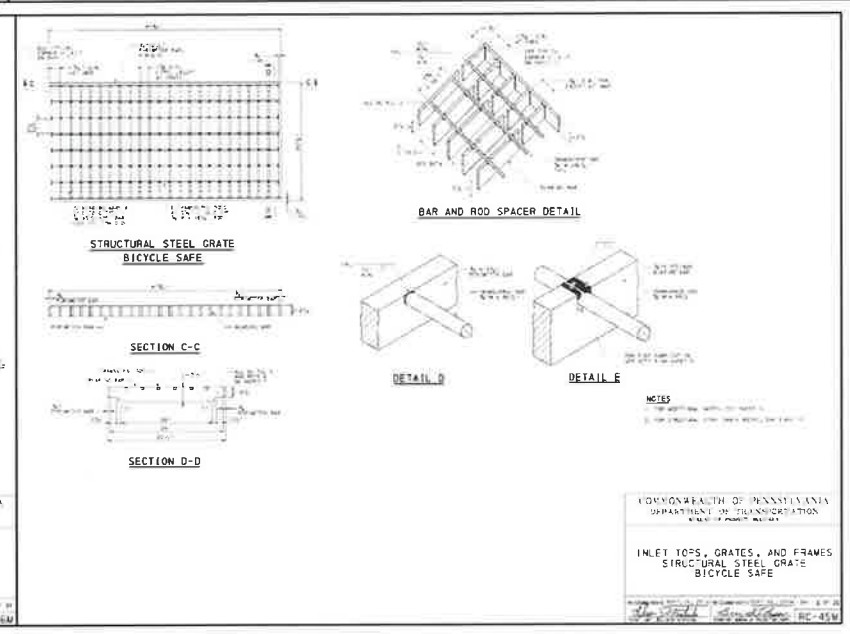
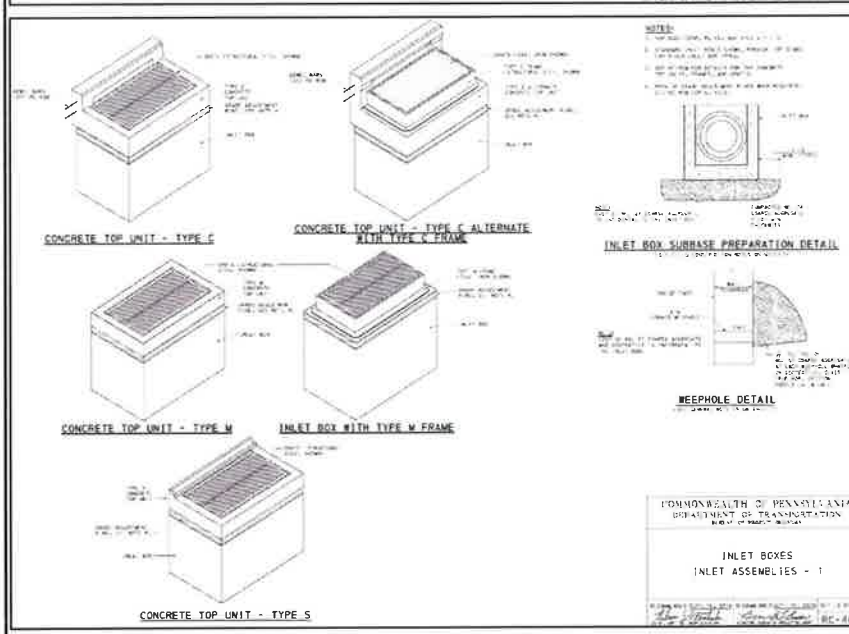
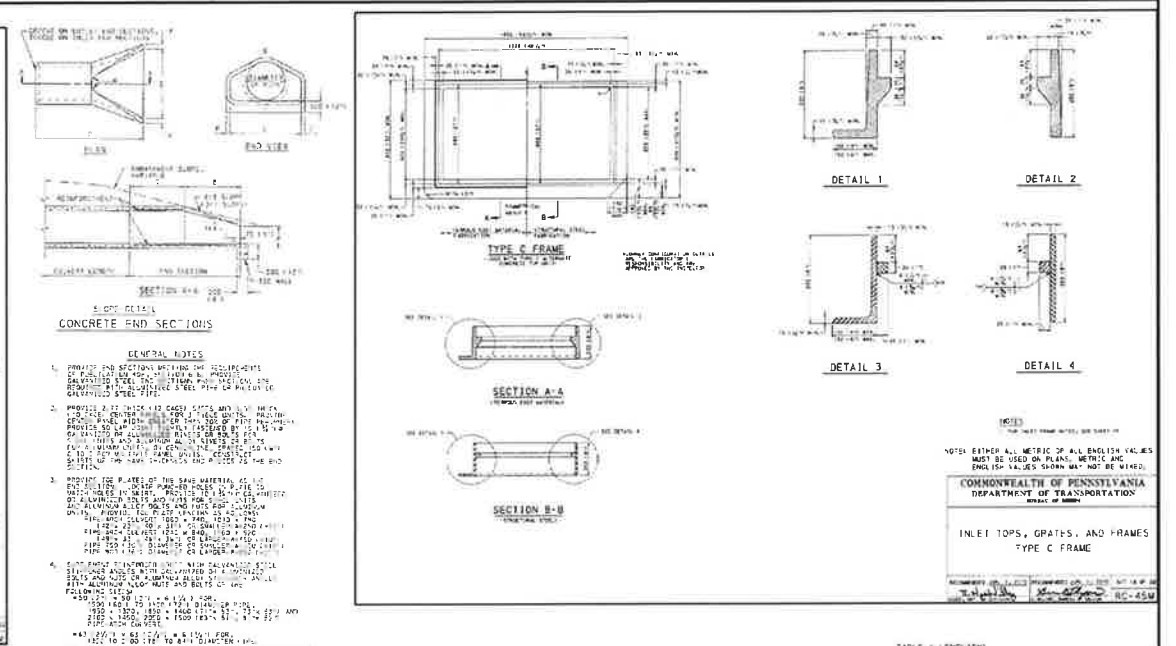
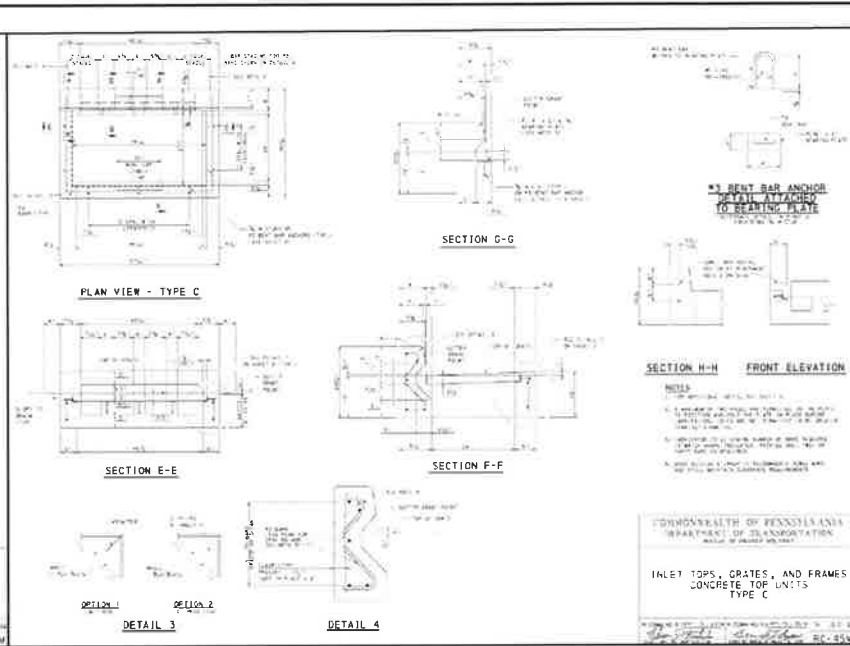
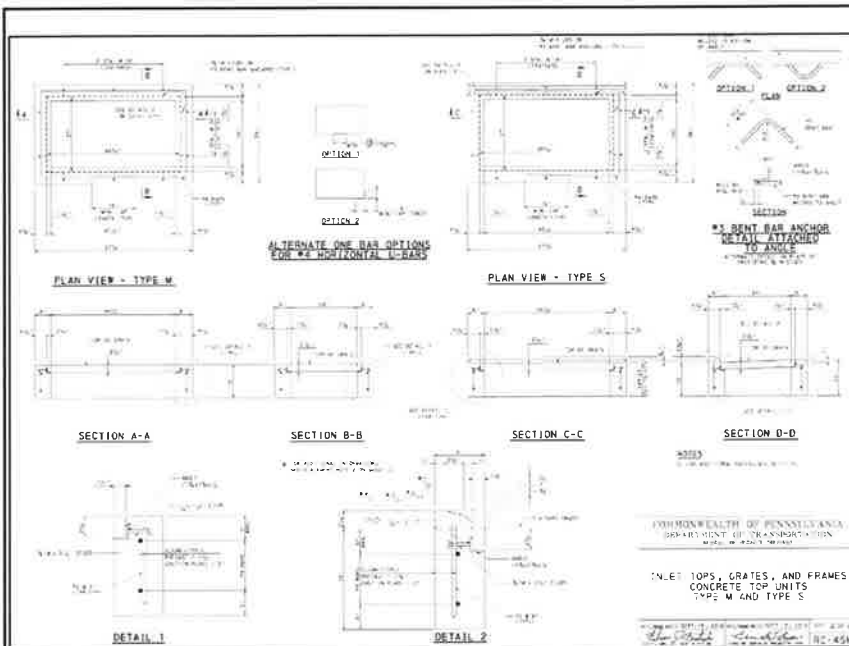
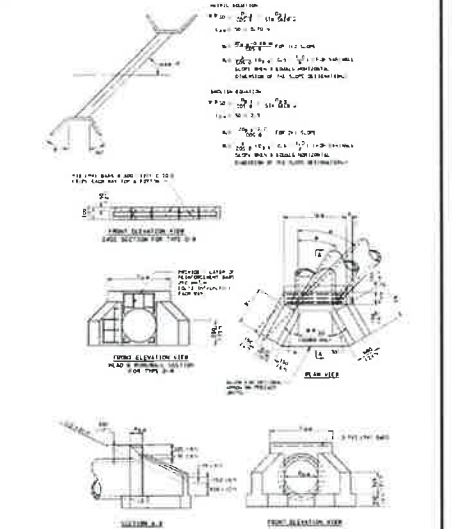


TABLE A - ENGLISH  
STRENGTH OF STEEL

GRADE	YIELD STRENGTH (MIN.)	TENSILE STRENGTH (MIN.)	ELONGATION (MIN.)
A36	36	58-80	21
A572-50	50	65-80	18
A572-60	60	75-90	17
A572-70	70	85-105	16
A572-80	80	95-115	15
A572-100	100	115-135	14
A572-125	125	140-160	13
A572-150	150	170-190	12
A572-180	180	200-220	11
A572-220	220	240-270	10
A572-300	300	330-370	9
A572-360	360	390-440	8
A572-420	420	450-510	7
A572-500	500	530-600	6
A572-550	550	580-660	5
A572-600	600	630-720	4
A572-650	650	680-780	3
A572-700	700	730-840	2
A572-750	750	780-900	1



**CONSTRUCTION DETAIL SHEET**  
OF  
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PREPARED FOR  
**WEXFORD COURT, LLC.**  
SITE SITUATE IN  
**DOUGLASS TOWNSHIP**  
MONTGOMERY COUNTY, PENNSYLVANIA

**S T A**  
Engineering, Inc.

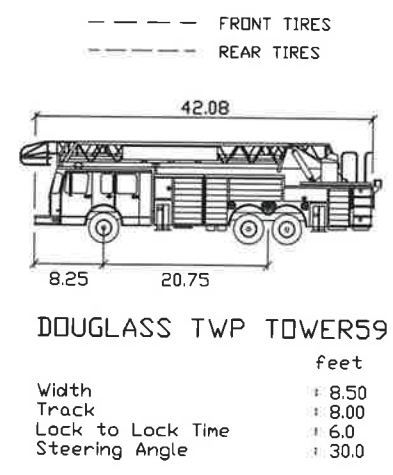
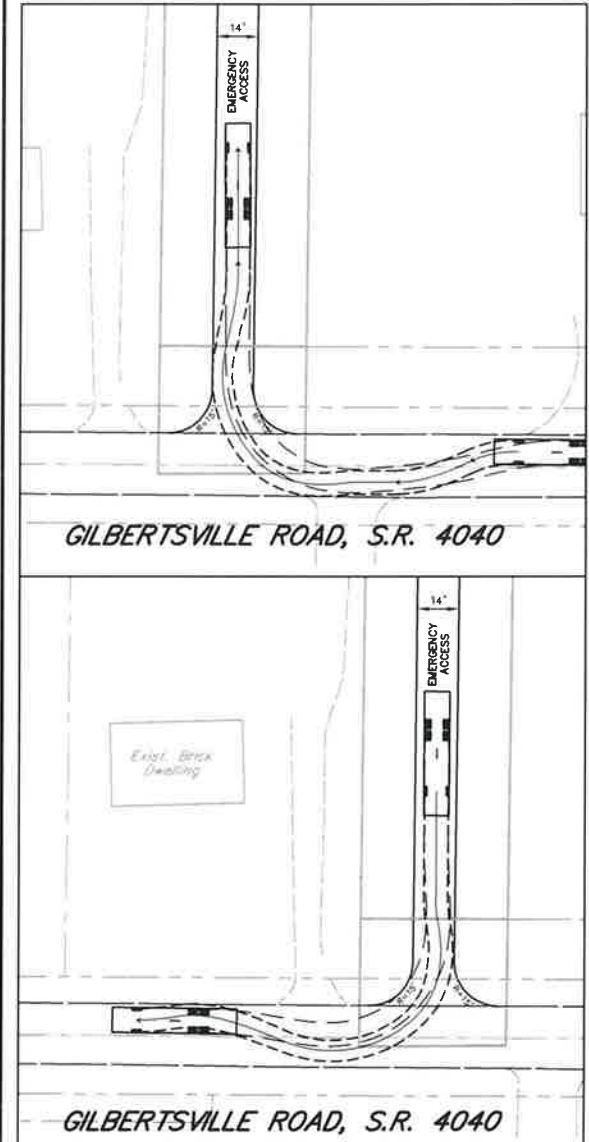
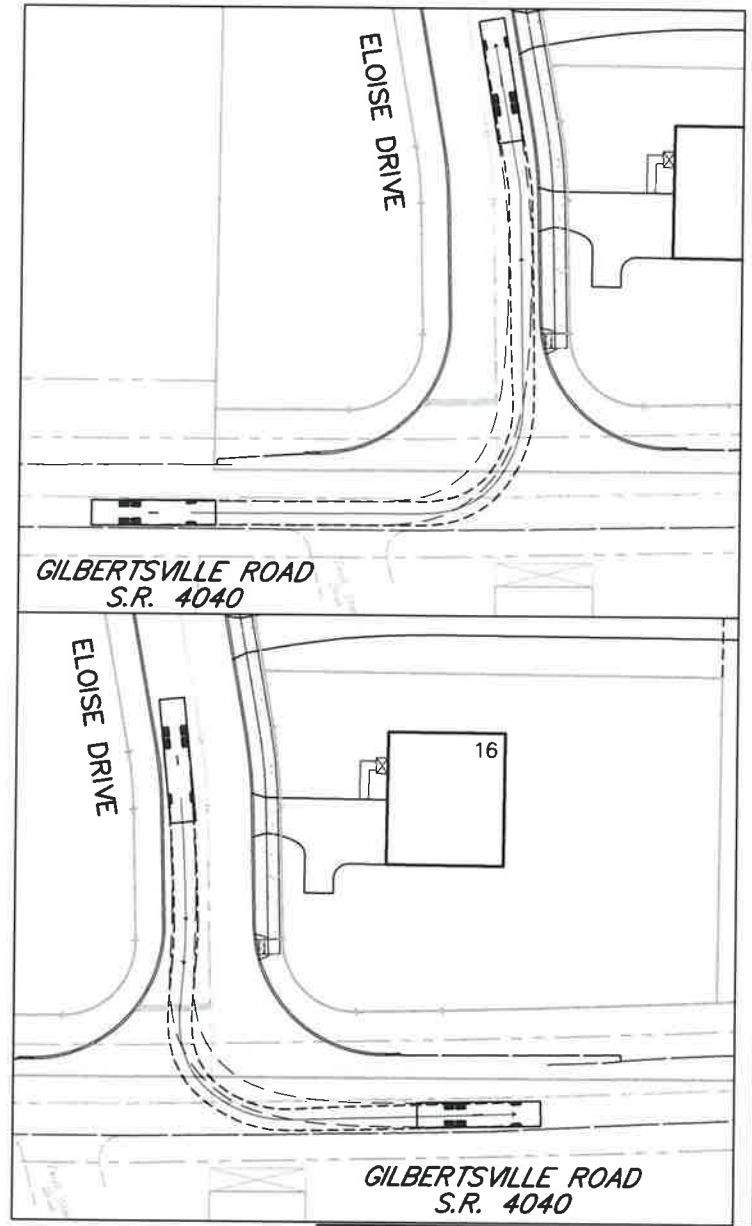
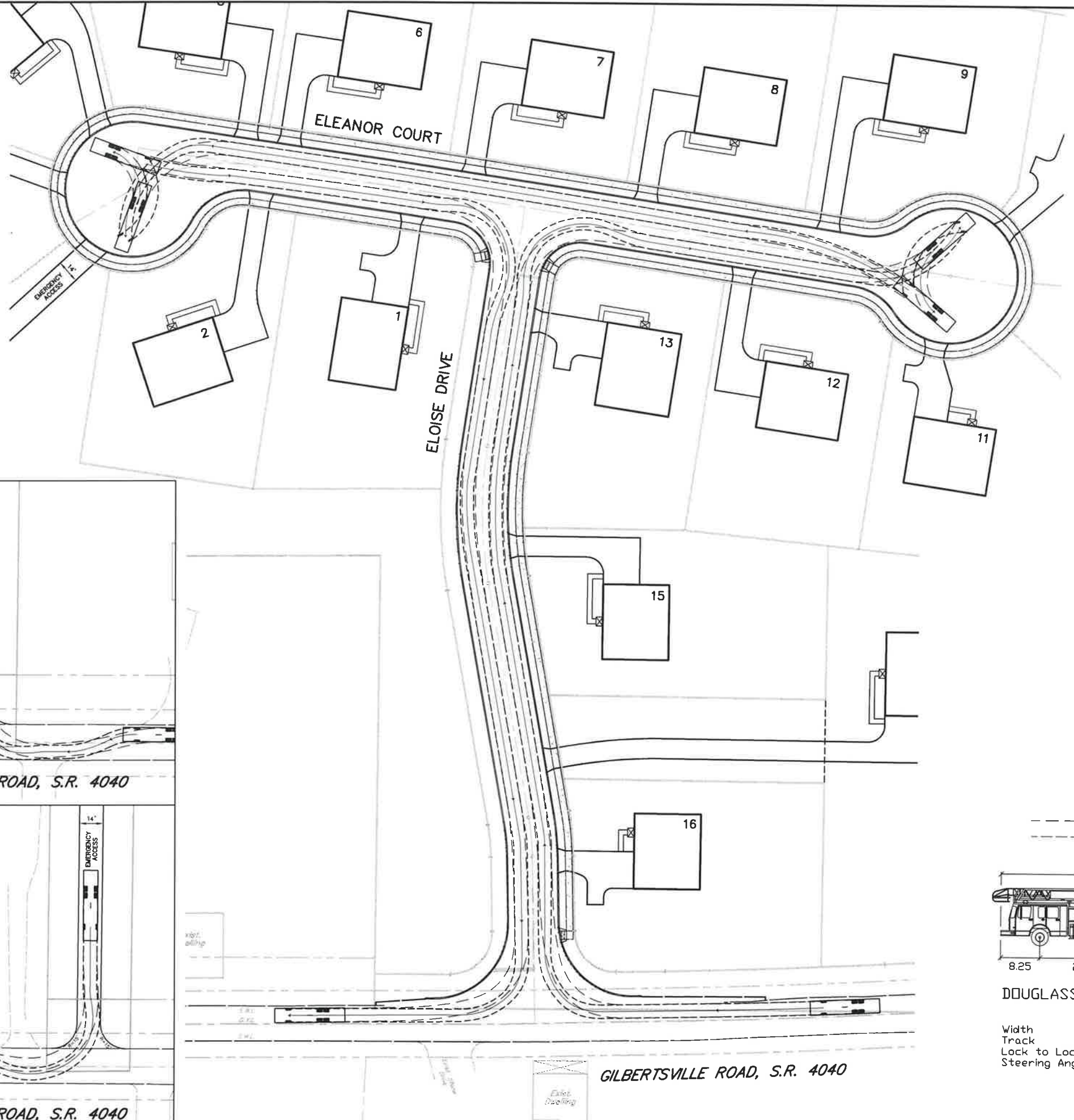
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PLAN SCALE	DRAFTED BY	PROJECT MANAGER	PLAN SHEET NUMBER
HORIZONTAL:	J.A.C.	S.A.R.	
N.T.S.	PROJECT NUMBER	DRAWING FILE NUMBER	
	5686	5686DET	23 OF 24

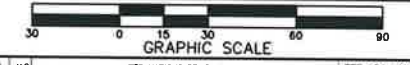
REVISIONS:

NO.	DATE	DESCRIPTION
1	08/30/2019	PLAN ORIGINATION DATE
2	03/18/2020	PER VARIOUS REVIEWS
3	08/04/2020	PER VARIOUS REVIEWS
4	02/24/2021	PER VARIOUS REVIEWS





DOUGLASS TWP TOWER59



4	JAC	PER VARIOUS REVIEWS	FEB. 24, 2021
3	JAC	PER VARIOUS REVIEWS	AUG. 4, 2020
2	JAC	PER VARIOUS REVIEWS	MAR. 18, 2020
1	JAC	S.T.A. PLAN ORIGINATOR DATE	AUG. 30, 2019

VEHICLE TURNPATH PLAN  
 OF  
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PLAN SCALE	DRAFTED BY	PROJECT MANAGER	PLAN SHEET NUMBER
1"=30'	J.A.C.	M.E.T.	24 of 24
	PROJECT NUMBER	DRAWING FILE NUMBER	
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